

**NOTICE OF A REGULAR MEETING TO BE HELD BY THE
McALLEN PUBLIC UTILITY BOARD OF TRUSTEES**

DATE: Tuesday, February 15, 2022

TIME: 4:00 P.M.

PLACE: McAllen City Hall
Commission Chambers – 3rd Floor
1300 Houston Avenue
McAllen, Texas 78501

VIRTUAL: Zoom.US/Join

<https://us02web.zoom.us/j/5087553077?pwd=TjduYjR4U2l3cWU1NjlsZzlsM2hJUT09>

Meeting ID: 508 755 3077

Passcode: 878576

Members of the public that wish to listen to the meeting can log in to the virtual Zoom meeting or dial 1 346 248 7799 US (Houston) Meeting ID: 508 755 3077 Passcode: 878576.

Individuals that wish to participate in the meeting or comment on an agenda item should call 956-681-1630 by 3:30 PM. Any individual dialing in acknowledges that his or her phone number may be visible to the public.

SUBJECT MATTER:

See Subsequent Agenda.

CERTIFICATION

I, the Undersigned authority, do hereby certify that the attached agenda of meeting of the McAllen Public Utility Board of Trustees is a true and correct copy and that I posted a true and correct copy of said notice on the bulletin board in the Municipal Building, a place convenient and readily accessible to the general public at all times, and said Notice was posted on the 11th day of February, 2022 at 3:00 P.M. and will remain so posted continuously for at least 72 hours preceding the scheduled time of said meeting in accordance with Chapter 551 of the Texas Government Code.


Nyla L. Flatau, TRMC/CMC
Utility Board Secretary



**BOARD OF TRUSTEES MEETING
TUESDAY, FEBRUARY 15, 2022 – 4:00 PM
COMMISSION CHAMBERS - 3RD FLOOR
1300 HOUSTON AVENUE
MCALLEN, TEXAS 78501**

AGENDA

AT ANY TIME DURING THE COURSE OF THIS MEETING, THE MCALLEN PUBLIC UTILITY BOARD MAY RETIRE TO EXECUTIVE SESSION UNDER TEXAS GOVERNMENT CODE 551.071(2) TO CONFER WITH ITS LEGAL COUNSEL ON ANY SUBJECT MATTER ON THIS AGENDA IN WHICH THE DUTY OF THE ATTORNEY TO THE MCALLEN PUBLIC UTILITY BOARD UNDER THE TEXAS DISCIPLINARY RULES OF PROFESSIONAL CONDUCT OF THE STATE BAR OF TEXAS CLEARLY CONFLICTS WITH CHAPTER 551 OF THE TEXAS GOVERNMENT CODE. FURTHER, AT ANY TIME DURING THE COURSE OF THIS MEETING, THE MCALLEN PUBLIC UTILITY BOARD MAY RETIRE TO EXECUTIVE SESSION TO DELIBERATE ON ANY SUBJECT SLATED FOR DISCUSSION AT THIS MEETING, AS MAY BE PERMITTED UNDER ONE OR MORE OF THE EXCEPTIONS TO THE OPEN MEETINGS ACT SET FORTH IN TITLE 5, SUBTITLE A, CHAPTER 551, SUBCHAPTER D OF THE TEXAS GOVERNMENT CODE.

CALL TO ORDER

PLEDGE

INVOCATION

1. MINUTES:

- a) Approval of Minutes for the Workshop and Regular Meeting held January 25, 2022.

2. BIDS AND CONTRACTS:

- a) Consideration and Approval of Award of Contract for the Hackberry & Kendlewood Waterline Improvements Project - Project No. 12-21-C11-385 (CDBG Funded).
- b) Consideration and Approval to Negotiate with the Highest Ranked Firm for the Citywide AMI/AMR Infrastructure Upgrade (Project No. 12-21-C07-579)
- c) Discussion and Consideration of the Mile 6 & Bryan Developers MOU Agreement.

3. ORDERS:

- a) Order amending the budget of the McAllen Public Utility Board of Trustees for Fiscal Year 2021-2022 for an increase in expenditures within the Water Fund.

4. UTILITY LAYOUTS:

- a) Discussion and Approval of A. Pena Subdivision and Septic Tank Variance.
- b) Discussion and Approval of Pioneer Estates Subdivision.

- c) Discussion and Approval of The Hills at Sharyland Subdivision.
- d) Discussion and Approval of Taylor Creek Villages Subdivision.
- e) Discussion and Approval of the Preliminary Reimbursement Certificate for Bentsen Park Subdivision.
- f) Discussion and Approval of the 7-Eleven on Ware Rd. Subdivision.
- g) Discussion and Approval of QQ 10th & Jay Subdivision.
- h) Discussion and Approval of Estancia at Tres Lagos Phase III Subdivision.
- i) Discussion and Approval of the North Park on 107 Subdivision.
- j) Discussion and Approval of Jackson Street Apartments Subdivision

5. FUTURE AGENDA ITEMS:

EXECUTIVE SESSION, CHAPTER 551, TEXAS GOVERNMENT CODE, SECTION 551.071

6. CONSULTATION WITH ATTORNEY, SECTION 551.072 LAND TRANSACTION, SECTION 551.074 PERSONNEL MATTERS; SECTION 551.087 ECONOMIC DEVELOPMENT NEGOTIATIONS:

- a) Consultation with City Attorney regarding legislative process. (T.G.C. 551.071)
- b) Consultation with City Attorney regarding potential litigation before the PUC. (T.G.C. 551.071)
- c) Consideration and possible lease, sale or purchase of real property; Tract 1. (T.G.C. 551.072)

ADJOURNMENT

IF ANY ACCOMMODATION FOR A DISABILITY IS REQUIRED (OR INTERPRETERS FOR THE DEAF), NOTIFY UTILITY ADMINISTRATION (681-1630) FORTY-EIGHT (48) HOURS PRIOR TO THE MEETING DATE. WITH REGARD TO ANY ITEM, THE MCALLEN PUBLIC UTILITY BOARD OF TRUSTEES MAY TAKE VARIOUS ACTIONS; INCLUDING BUT NOT LIMITED TO RESCHEDULING AN ITEM IN ITS ENTIRETY FOR A FUTURE DATE OF TIME.

THE NEXT REGULARLY SCHEDULED BOARD MEETING WILL BE HELD ON MARCH 1, 2022.



AGENDA ITEM

1.a.

PUBLIC UTILITY BOARD

DATE SUBMITTED

02/10/2022

MEETING DATE

2/15/2022

1. Agenda Item: Approval of Minutes for the Workshop and Regular Meeting held January 25, 2022.

**2. Party Making Request:
Nyla Flatau, Utility Board Secretary**

3. Nature of Request: Approval of Minutes as presented.

4. Budgeted:

Bid Amount: _____
Under Budget: _____

Budgeted Amount: _____
Over Budget: _____
Amount Remaining: _____

5. Reimbursement:

6. Routing:
Nyla Flatau Created/Initiated - 2/10/2022

7. Staff's Recommendation: Approval of Minutes as presented.

8. City Attorney: Approve. IJT

9. MPU General Manager: Approved - MAV

10. Director of Finance for Utilities: Approved - MDC

**STATE OF TEXAS
COUNTY OF HIDALGO
CITY OF MCALLEN**

The McAllen Public Utility Board met in a Workshop on **Tuesday, January 25th** at 3:00 p.m. at McAllen City Hall Commission Chambers – 3rd Floor:

	Charles Amos	Chairman
	Ernest Williams	Vice-Chairman
	Albert Cardenas	Trustee
	Javier Villalobos	Mayor/Ex-Officio
Absent:	Ric Godinez	Trustee
Staff:	Marco A. Vega, P.E.	General Manager
	J.J. Rodriguez	Assistant General Manager
	Nyla L. Flatau	Utility Board Secretary
	Carlos Diaz-Limon, Jr.	Assistant to the Utility Board Secretary
	Melba Carvajal	Director of Finance for Utilities
	David Garza	Director of Wastewater Systems
	Edward Gonzalez	Director of Water Systems
	Austin Stevenson	Assistant City Attorney
	Carlos Gonzalez, P.E.	Utility Engineer
	Marco Ramirez, P.E.	Utility Engineer
	Rafael Balderas	Assistant to the Utility Engineer
	Janet Landeros	Grants Coordinator

1) Presentation and Discussion regarding 6 Mile Road Sewer

Staff presented an update regarding 6 Mile Road Sewer. They explained that over the last few months staff has had numerous meetings with multiple prospective developers. They all have a common goal of developing a plan for extending sewer service to the subject areas. Staff discussed several prospective developments in the vicinity of 6 Mile Road, and also focused on the Master Planning Efforts to provide sewer service to the area.

Staff asked for direction from the board and recommended development of a multi-party MOU that would speak to terms for construction of an off-site sewer line.

2) EXECUTIVE SESSION, CHAPTER 551, TEXAS GOVERNMENT CODE, SECTION 551.071 CONSULTATION WITH ATTORNEY, SECTION 551.072 LAND TRANSACTION, SECTION 551.074 PERSONNEL MATTERS; SECTION 551.087 ECONOMIC DEVELOPMENT NEGOTIATIONS

The Board recessed into Executive Session at 3:26 p.m. Trustee Cardenas motioned to recess into Executive Session and Vice-Chairman Williams seconded the motion. No action was taken.

- a) Consideration and possible lease, sale or purchase of real property; Tract 1.
(551.072 T.G.C.)

ADJOURNMENT

There being no other business to come before the Board, the workshop was unanimously adjourned at 4:00 p.m.

Charles Amos, Chairman

Attest:

Nyla L. Flatau, TRMC/CMC
Utility Board Secretary

**STATE OF TEXAS
COUNTY OF HIDALGO
CITY OF MCALLEN**

The McAllen Public Utility Board (MPUB) convened in a Regular Meeting on **Tuesday, January 25, 2022 at 4:00 P.M.** in the City Commission Chambers at City Hall with the following present:

Charles Amos, Chairman
Ernest Williams, Vice Chairman
Albert Cardenas, Trustee

Absent: Ricardo R. Godinez, Trustee
Javier Villalobos, Mayor/Ex-Officio

Staff: Marco A. Vega, P.E., General Manager
J.J. Rodriguez, Assistant General Manager
Nyla L. Flatau, TRMC/CMC, Utility Board Secretary
Carlos Diaz-Limon, Jr., Assistant to the Utility Board Secretary
Jessica Salinas, Water Education & Communications Coordinator
Janet Landeros, Grants & Contracts Coordinator
Melba Carvajal, Director of Finance for Utilities
Terri Uvalle, Assistant Director, Utility Billing
Pablo Rodriguez, Assistant Director, Customer Relations
Carlos Gonzalez, P.E., Utility Engineer
Marco Ramirez, P.E., Utility Engineer
Rafael Balderas, E.I.T, Assistant Utility Engineer
Edward Gonzalez, Director of Water Systems
David Garza, Director of Wastewater Systems
Marino Ibarra, Utility Billing Clerk
Edgar Ituarte, Working Supervisor, Utility Billing
Gerardo Noriega, of Director Purchasing & Contracting
Austin Stevenson, Assistant City Attorney

CALL TO ORDER:

Chairman Charles Amos called the meeting to order at 4:00 p.m.

PRESENTATION OF EMPLOYEE OF THE MONTH (DECEMBER 2021) – MARINO IBARRA

Terri Uvalle, Assistant Director, Utility Billing, presented Marino Ibarra as Employee of the Month for December 2021. Ms. Uvalle praised Mr. Ibarra for his hard work and dedication of 15 years to the McAllen Public Utility. She added that Mr. Ibarra's ability to learn all the aspects of operations, especially when the working supervisor was out, made him a very valuable asset to the McAllen Public Utility billing department.

1. **MINUTES:**

a) **Approval of the Minutes for the Regular Meeting held January 11, 2022 and Workshop held December 14, 2021.**

Albert Cardenas, Trustee, moved to approve the minutes for the Regular Meeting held January 11, 2022 and Workshop held December 14, 2021. Ernest Williams, Vice Chairman, seconded the motion. The motion carried unanimously by those present.

2. **BIDS AND CONTRACTS:**

a) **Consideration and Approval of Award of Professional Services Engineering Contract for the Water Treatment Alternate Disinfection Study.**

Marco Ramirez, P.E., Utility Engineer, informed the MPUB that on April 28, 2022, the Board assigned the Water Treatment Alternate Disinfection Study to Carollo Engineers, Inc. based on their response to a Request for Qualifications and getting on MPU's Engineering Firm Rotation List. He added that the proposed study would analyze alternate disinfection methods for the water treatment process to determine what method was most feasible to consider based on availability, performance, risk and cost. Furthermore, he stated that with the constant market fluctuation of chemical availability and cost, consideration of treatment methods that may be less susceptible to market demand should be considered. Additionally, he stated that treatments such as On-site Hypochlorite Generation or Ultraviolet Light are two examples of alternate disinfection methods that will be considered and evaluated. Carollo Engineers, Inc. has submitted a Scope of Service and corresponding Fee Proposal for an amount of \$149,940.

Staff recommended award of Professional Services Consulting Contract to Carollo Engineers, Inc. for the amount of \$149,940, subject to final review and approval of Contract Agreement by the City of McAllen Legal Department.

Albert Cardenas, Trustee, moved to approve the Professional Services Engineering Contract for the Water Treatment Alternate Disinfection Study. Ernest Williams, Vice Chairman, seconded the motion. The motion carried unanimously by those present.

3. **UTILITY LAYOUTS:**

a) **Discussion and Approval of The Tree Apartments Phase III Subdivision.**

Mr. Carlos Gonzalez, P.E., Utility Engineer, presented the Tree Subdivision Apartments Phase III Subdivision application. He noted that this tract consisted of 5.875 acres and is located on the east side of Taylor Rd.,

approximately 1,300 feet north of Expressway 83. The property is located within the McAllen City Limits and is being proposed as R-3A residential. The development will consist of a single lot for apartment units. The applicant is proposing to utilize an existing 8-inch waterline that was installed during Phase I of this project to service the property. Additional fire protection may be necessary as required by the Fire Dept. Further, the applicant is proposing to utilize an existing 8-inch sewer line which was also installed during Phase I of the project. Staff noted that this development is located within the Bentsen Road Water and Sanitary Sewer reimbursement areas.

Staff recommended MPUB approval of the subdivision application as proposed subject to the following: dedication of a utility easement, possibly along the perimeter of the property and where the main utility lines will be installed, installation of the proposed public utility infrastructure be constructed as proposed, payment of a waterline reimbursement to MPU in the amount of \$289.83 for the Bentsen Road Waterline Project and payment of a sewerline reimbursement to MPU in the amount of \$2,014.33 for the Bentsen Road Sewerline Project.

Ernest Williams, Vice Chairman, moved to approve The Tree Apartments Phase III Subdivision. Albert Cardenas, Trustee, seconded the motion. The motion carried unanimously by those present.

4. MANAGER'S REPORT:

a) Review of Quarterly Investment Report for Quarter Ending September 30, 2021.

Ms. Melba Carvajal, Director of Finance for Utilities, presented the Quarterly Investment Report for the Quarter ended September 30, 2021 and stated that the Audit and Investment Committee recommended acceptance to the elected bodies; therefore, staff recommended acceptance as presented.

Ernest Williams, Vice Chairman, moved to accept the Quarterly Investment Report for Quarter Ending September 30, 2021. Albert Cardenas, Trustee, seconded the motion. The motion carried unanimously by those present.

5. TABLED:

b) Consideration and Approval of Professional Services Contract Amendment No. 5 for Carollo Engineers – North Wastewater Treatment Plant Electrical and SCADA Improvements.

A motion was made by Albert Cardenas, Trustee and seconded by Ernest Williams, Vice Chairman, to remove item from the table.

Mr. Mark Vega, P.E., General Manager, asked Board for flexibility to negotiate the amount of Amendment No. 5 with the contractor, at staff level and come back to report to the Board.

Albert Cardenas, Trustee, moved to approve the General Manager to negotiate the final numbers on Amendment No. 5 for Carollo Engineers. Ernest Williams, Vice Chairman, seconded the motion. The motion carried unanimously by those present.

6. FUTURE AGENDA ITEMS:

Mr. Mark Vega, P.E., General Manager, informed the MPUB that the Board Retreat is scheduled for February 25, 2022 from 8:00 a.m. to 1:00 p.m.

7. EXECUTIVE SESSION, CHAPTER 551, TEXAS GOVERNMENT CODE, SECTION 551.071 CONSULTATION WITH ATTORNEY, SECTION 551.072 LAND TRANSACTION, SECTION 551.074 PERSONNEL MATTERS; SECTION 551.087 ECONOMIC DEVELOPMENT NEGOTIATIONS

a) Consideration and possible lease, sale or purchase of real property; Tract 1. (Section 551.072, T.G.C.)

Austin Stevenson, Assistant City Attorney, asked the Board to entertain a motion instructing the General Manager and staff to proceed consistent to the instructions given in Executive Session.

ADJOURNMENT

There being no other business to come before the Board, the meeting was unanimously adjourned at 4:16 p.m.

Charles Amos, Chairman

Attest:

Nyla L. Flatau, TRMC/CPM
Utility Board Secretary



AGENDA ITEM 2.a.

PUBLIC UTILITY BOARD

DATE SUBMITTED

02/09/2022

MEETING DATE

2/15/2022

1. Agenda Item: Consideration and Approval of Award of Contract for the Hackberry & Kendlewood Waterline Improvements Project - Project No. 12-21-C11-385 (CDBG Funded).
2. Party Making Request:
Erika Gomez, Developmental Activities
Carlos Gonzalez, Development and Special Projects Engineer
3. Nature of Request: Consideration and Approval of Award of Contract for the Hackberry & Kendlewood Waterline Improvements Project - Project No. 12-21-C11-385 (CDBG Funded). This project will be funded by CDBG and Water depreciation fund as summarized in the staff's recommendation memo.
4. Budgeted: yes

Bid Amount:	<u>\$398,899.00</u>	Budgeted Amount:	<u>\$472,584.00</u>
Under Budget:	<u>\$73,685.00</u>	Over Budget:	<u>\$0.00</u>
		Amount Remaining:	<u>\$0.00</u>
5. Reimbursement:
6. Routing:

Erika Gomez	Created/Initiated - 2/9/2022
Yvette Balderas	Approved - 2/9/2022
Gerardo Noriega	Final Approval - 2/9/2022
7. Staff's Recommendation: Staff recommends award of contract to the Apparent Responsive Low Bidder, Texas Cordia, LLC, for the total contract amount of
8. City Attorney: Approve. IJT
9. MPU General Manager: Approved - MAV
10. Director of Finance for Utilities: Approved - MDC

Memo

TO: Marco A Vega, P.E., General Manager

THRU: Carlos Gonzalez, P.E., Utility Engineer

FROM: Erika Gomez, E.I.T., Assistant Utility Engineer

DATE: February 7th, 2022

SUBJECT: Consideration and Approval of Award of Contract for the Hackberry & Kendlewood Waterline Improvements Project - Project No. 12-21-C11-385 (CDBG Funded)

On December 22nd, 2021, the City of McAllen Purchasing Department conducted a public bid opening for the Hackberry & Kendlewood Waterline Improvements (CDBG Funded) Project. The project consists of the replacement of existing cast iron and AC waterlines across Bicentennial Blvd along Hackberry and Kendlewood Ave. The proposed installation of this lines will be via directional bore.

A total of 2 bids were received and the lowest responsive responsible bidder appears to be Texas Cordia Construction, LLC Inc from Edinburg, Texas in the amount of \$398,899. A bid tabulation sheet of all bidders is attached.

This project is funded in partnership with CDBG; with CDBG providing funding in the amount of \$272,584 and MPU funding the remaining balance of \$126,315 out of the Water Depreciation fund.

Staff recommends award of contract to the Apparent Responsive Low Bidder, Texas Cordia, LLC., for the total contract amount of \$398,899

Staff will be available for further discussion/questions at the MPUB meeting.



BID OPENING: DECEMBER 22, 2021 AT 3:00 PM (CST)

LOCATION: CONFERENCE ROOM 2A

PROJECT NO. 12-21-C11-385 HACKBERRY & KENDLEWOOD WATERLINE IMPROVEMENTS (CDBG)

				TEXAS CORDIA CONSTRUCTION LLC EDINBURG, TX		ELECTRO-HI LLC BROWNSVILLE, TX	
BIDDERS							
NO.	DESCRIPTION	QTY	UOM	UNIT PRICE	EXT PRICE	UNIT PRICE	EXT PRICE
1	PERFORMANCE OF A DIRECTIONAL BORE ACROSS BICENTENNIAL INCLUDES 12-INCH STEEL CASING (1/4 INCH THICKNESS). CARRIER PIPE PAID BY SEPARATE LINE ITEM	400	LF	\$129.00	\$51,600.00	\$250.00	\$100,000.00
2	INSTALLATION OF 8" PVC C-900; DR-18 FUSIBLE CARRIER PIPE THRU CASING; COMPLETE INCLUDES; SPACERS AND ENDCAPS	400	LF	\$126.00	\$50,400.00	\$76.50	\$30,600.00
3	INSTALLATION OF 8" C-900 PVC- DR-18 WATERLINE BY OPEN-CUT TRENCH METHOD COMPLETE AND IN-PLACE	100	LF	\$85.00	\$8,500.00	\$69.25	\$6,925.00
4	INSTALLATION OF A 12" TEE, COMPLETE AND IN-PLACE	1	EA	\$1,894.00	\$1,894.00	\$3,850.00	\$3,850.00
5	INSTALLATION OF 8" TEE, COMPLETE AND IN PLACE	2	EA	\$1,826.00	\$3,652.00	\$3,500.00	\$7,000.00
6	INSTALLATION OF A 12" X 8" REDUCER	2	EA	\$1,571.00	\$3,142.00	\$3,495.00	\$6,990.00
7	INSTALLATION OF A 12", 90 DEGREE ELBOW	2	EA	\$2,095.00	\$4,190.00	\$3,350.00	\$6,700.00
8	INSTALLATION OF A 8" GATE VALVE	4	EA	\$3,699.00	\$14,796.00	\$4,150.00	\$16,600.00
9	PAVEMENT CUT AND RESTORE, MATCH EXISTING PAVEMENT SECTION (MIN 2-IN HMAC & 8" BASE)	50	SY	\$138.00	\$6,900.00	\$220.00	\$11,000.00
10	TRENCH PROTECTION SYSTEM FOR BORE ACCESS PIT PER OSHA REQUIREMENTS	1	LS	\$3,569.00	\$3,569.00	\$3,000.00	\$3,000.00
11	TRENCH PROTECTION SYSTEM PER OSHA REQUIREMENTS	100	LF	\$34.00	\$3,400.00	\$20.00	\$2,000.00
12	WORK ZONE TRAFFIC CONTROL AND IMPLEMENTATION PLAN, INCLUDING TRAFIC CONTROL DEVICES	1	LS	\$4,801.00	\$4,801.00	\$3,000.00	\$3,000.00
13	BICENTENNIAL INCLUDES 16-INCH STEEL CASING (5/16 THICKNESS) . CARRIER PIPE PAID BY SEPARATE LINE	300	LF	\$251.00	\$75,300.00	\$325.00	\$97,500.00
14	INSTALLATION OF 12" PVC C-900; DR-18 FUSIBLE CARRIER PIPE THRU CASING; COMPLETE INCLUDES; SPACERS AND ENDCAPS	300	LF	\$199.00	\$59,700.00	\$81.00	\$24,300.00
15	INSTALLATION OF 12" C-900 PVC- DR-18 WATERLINE BY OPEN-CUT TRENCH METHOD COMPLETE AND IN-PLACE	200	LF	\$140.00	\$28,000.00	\$79.25	\$15,850.00
16	INSTALLATION OF A 12" GATE VALVE, COMPLETE AND IN-PLACE	5	EA	\$5,645.00	\$28,225.00	\$4,350.00	\$21,750.00
17	INSTALLATION OF A 12" CROSS, COMPLETE AND IN-PLACE	1	EA	\$6,934.00	\$6,934.00	\$3,495.00	\$3,495.00
18	INSTALLATION OF 8" TEE, COMPLETE AND IN PLACE	1	EA	\$1,825.00	\$1,825.00	\$3,595.00	\$3,595.00
19	INSTALLATION OF A 12" X 8" REDUCER	1	EA	\$1,571.00	\$1,571.00	\$2,000.00	\$2,000.00
20	INSTALLATION OF A 12", 90 DEGREE ELBOW	4	EA	\$2,095.00	\$8,380.00	\$2,500.00	\$10,000.00
21	PAVEMENT CUT AND RESTORE, MATCH EXISTING PAVEMENT SECTION (MIN 2-IN HMAC & 8" BASE)	150	SY	\$133.00	\$19,950.00	\$220.00	\$33,000.00
22	TRENCH PROTECTION SYSTEM FOR BORE ACCESS PIT PER OSHA REQUIREMENTS	1	LS	\$3,569.00	\$3,569.00	\$3,000.00	\$3,000.00
23	TRENCH PROTECTION SYSTEM PER OSHA REQUIREMENTS	200	LF	\$19.00	\$3,800.00	\$20.00	\$4,000.00



BID OPENING: DECEMBER 22, 2021 AT 3:00 PM (CST)

LOCATION: CONFERENCE ROOM 2A

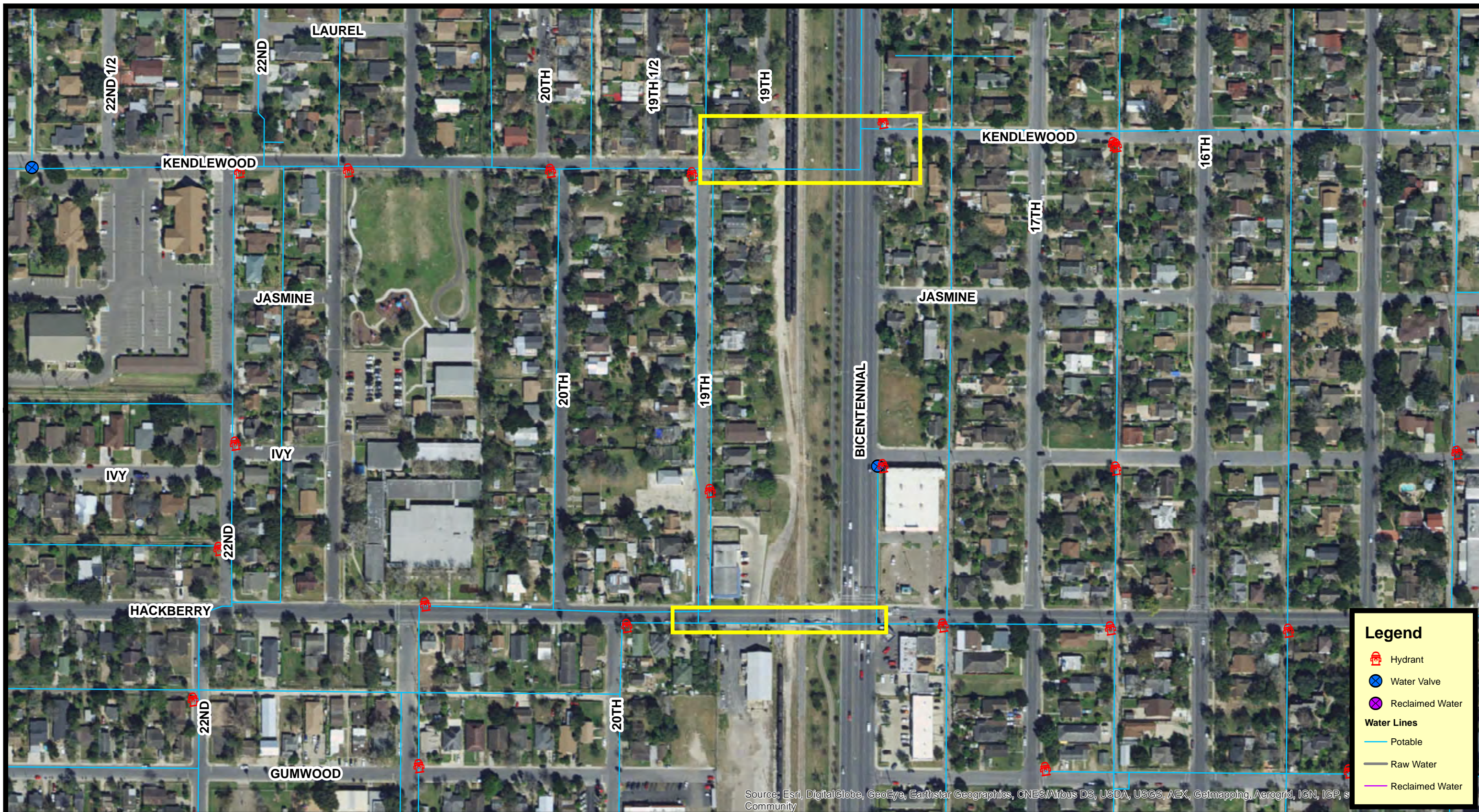
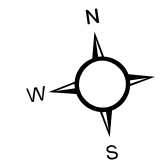
PROJECT NO. 12-21-C11-385 HACKBERRY & KENDLEWOOD WATERLINE IMPROVEMENTS (CDBG)

				TEXAS CORDIA CONSTRUCTION LLC EDINBURG, TX		ELECTRO-HI LLC BROWNSVILLE, TX	
BIDDERS							
NO.	DESCRIPTION	QTY	UOM	UNIT PRICE	EXT PRICE	UNIT PRICE	EXT PRICE
24	WORK ZONE TRAFFIC CONTROL AND IMPLEMENTATION PLAN, INCLUDING TRAFIC CONTROL DEVICES	1	LS	\$4,801.00	\$4,801.00	\$3,000.00	\$3,000.00
GRAND TOTAL				\$398,899.00		\$419,155.00	
BID SECURITY				SUBMITTED		SUBMITTED	
BID FORM 15-26:				SUBMITTED		SUBMITTED	
ENTER NUMBER OF CALENDAR DAYS TO COMPLETE WORK:				60 CALENDAR DAYS		60 CALENDAR DAYS	
FORM HUD 950-1 (PAGE 78):				SUBMITTED		SUBMITTED	
SECTIONS 504 CERTIFICATE (PAGE 80-81):				SUBMITTED		SUBMITTED	
W9:				SUBMITTED		SUBMITTED	
ADDENDUMS 1 & 2:				ACKNOWLEDGED		ACKNOWLEDGED	

*UTILITIES SHOWN ARE FOR GENERAL INFORMATION ONLY AND MAY NOT BE 100% ACCURATE. UTILITIES SHOULD BE FIELD VERIFIED DESIGN OR CONSTRUCTION.

CDBG WATERLINE PROJECT

HACKBERRY & KENDLEWOOD AVE WATERLINE IMPROVEMENTS





AGENDA ITEM

2.b.

PUBLIC UTILITY BOARD

DATE SUBMITTED

02/08/2022

MEETING DATE

2/15/2022


1. Agenda Item: Consideration and Approval to Negotiate with the Highest Ranked Firm for the Citywide AMI/AMR Infrastructure Upgrade (Project No. 12-21-C07-579)
2. Party Making Request:
Melba Carvajal, Director of Finance for Utilities
3. Nature of Request: Consideration and Approval to Negotiate with the Highest Ranked Firm for the Citywide AMI/AMR Infrastructure Upgrade (Project No. 12-21-C07-579)
4. Budgeted:

Bid Amount:		Budgeted Amount:	
Under Budget:		Over Budget:	
		Amount Remaining:	
5. Reimbursement:
6. Routing:

Melba Carvajal	Created/Initiated - 2/8/2022
Gerardo Noriega	Final Approval - 2/9/2022
7. Staff's Recommendation: Approval to Negotiate with the Highest Ranked Firm for the Citywide AMI/AMR Infrastructure Upgrade (Project No. 12-21-C07-579).
8. City Attorney: Approve. IJT
9. MPU General Manager: Approved - MAV
10. Director of Finance for Utilities: Approved - MDC

Memo

To: Mark Vega, P.E., General Manager; J.J. Rodriguez, Assistant General Manager

From: Melba Carvajal, Director of Finance for Utilities/Project Lead 

Cc: AMI Project Evaluation Team: Terri Uvalle, Pablo Rodriguez, Richard Trevino, Carlos Gonzalez; David Garza, Marco Ramirez, Edward Gonzalez, Juan Pedraza, Archie Morales

Date: 1/26/2022

Re: PROJECT NO. 12-21-C07-579 CITYWIDE AMI/AMR INFRASTRUCTURE UPGRADE

McAllen Public Utility conducted a solicitation for a City-wide AMI/AMR Infrastructure Upgrade project in November 2021. A mandatory pre-submittal conference was held on Wednesday, November 10, 2021 and proposals were received on December 9, 2021. The project evaluation team led by Melba Carvajal as the Project Lead, includes various stakeholders representing their individual areas of expertise. The team was well-rounded, and all aspects of the project covered. The team members are:

- Treasury Management: Melba Carvajal
- Water Systems: Edward Gonzalez
- Wastewater Systems: David Garza
- Utility Billing: Terri Uvalle
- Meter Reader: Richard Trevino
- Transmission & Distribution: Juan Pedraza
- Customer Relations: Pablo Rodriguez
- Utility Engineering: Carlos Gonzalez, Marco Ramirez
- IT: Archie Morales

The team evaluated and tabulated the submittals based on the following criteria and related ratings points:

1. Contractor relevant experience and references (15 points)
2. Proposed staff (15 points)
3. Price consideration (40 points)
4. Project approach (30 points)

The following five vendors submitted proposals and were accordingly ranked based on above mentioned criteria.

Respondent	Total Score
Aqua Metric Sales (Thirkettle Corp.)	68.44
AquaWorks Pipe & Supply	56.94
Mountain States Pipe & Supply	31.78
Core & Main	27.33

* Badger Meters (non-responsive)

The top two-ranking vendors were invited to participate in a live interview with the Committee, whereby they were afforded the opportunity to clarify and/or elaborate on specific Scope of Work Tasks on Thursday, January 20, 2022.

Team Conclusions / Recommendations

Based on overall committee evaluation, staff is recommending authorization to proceed with commencing negotiations with the top-ranked proposal submitted by Aqua Metric to meet available funding limitations.



AGENDA ITEM

2.c.

PUBLIC UTILITY BOARD

DATE SUBMITTED

02/10/2022

MEETING DATE

2/15/2022

1. Agenda Item: Discussion and Consideration of the Mile 6 & Bryan Developers MOU Agreement.
2. Party Making Request:
Rafael Balderas Jr.
3. Nature of Request: Request of MPU Board consideration on the assessment of an MOU regarding a multi-developers agreement for master sewer improvements near Mile 6 and Bryan Road.
4. Budgeted:

Bid Amount:	_____	Budgeted Amount:	_____
Under Budget:	_____	Over Budget:	_____
		Amount Remaining:	_____
5. Reimbursement: N/A.
6. Routing:
Rafael Balderas Jr. Created/Initiated - 2/10/2022
7. Staff's Recommendation: Staff recommends approval of the consideration.
8. City Attorney: Approve. IJT
9. MPU General Manager: Approved - MAV
10. Director of Finance for Utilities: Approved - MDC

Memo

TO: Marco A. Vega, P.E., General Manager
J.J. Rodriguez, Asst. General Manager

FROM: Carlos Gonzalez, P.E., Utility Engineer
Rafael Balderas, E.I.T., Asst. to the Utility Engineer

DATE: February 8, 2022

SUBJECT: Mile 6 Master Sewer Development MOU

Staff recently conducted a Workshop Presentation to discuss a number of prospective developments in North-west McAllen in the vicinity of Mile 6 Road. The presentation included a concept sewer plan that would serve an area generally illustrated in Exhibit A.

To facilitate installation of this sewer line, a group of developers are in the process of establishing a multi-party agreement that would establish terms for the design and construction of subject sewer collection system.

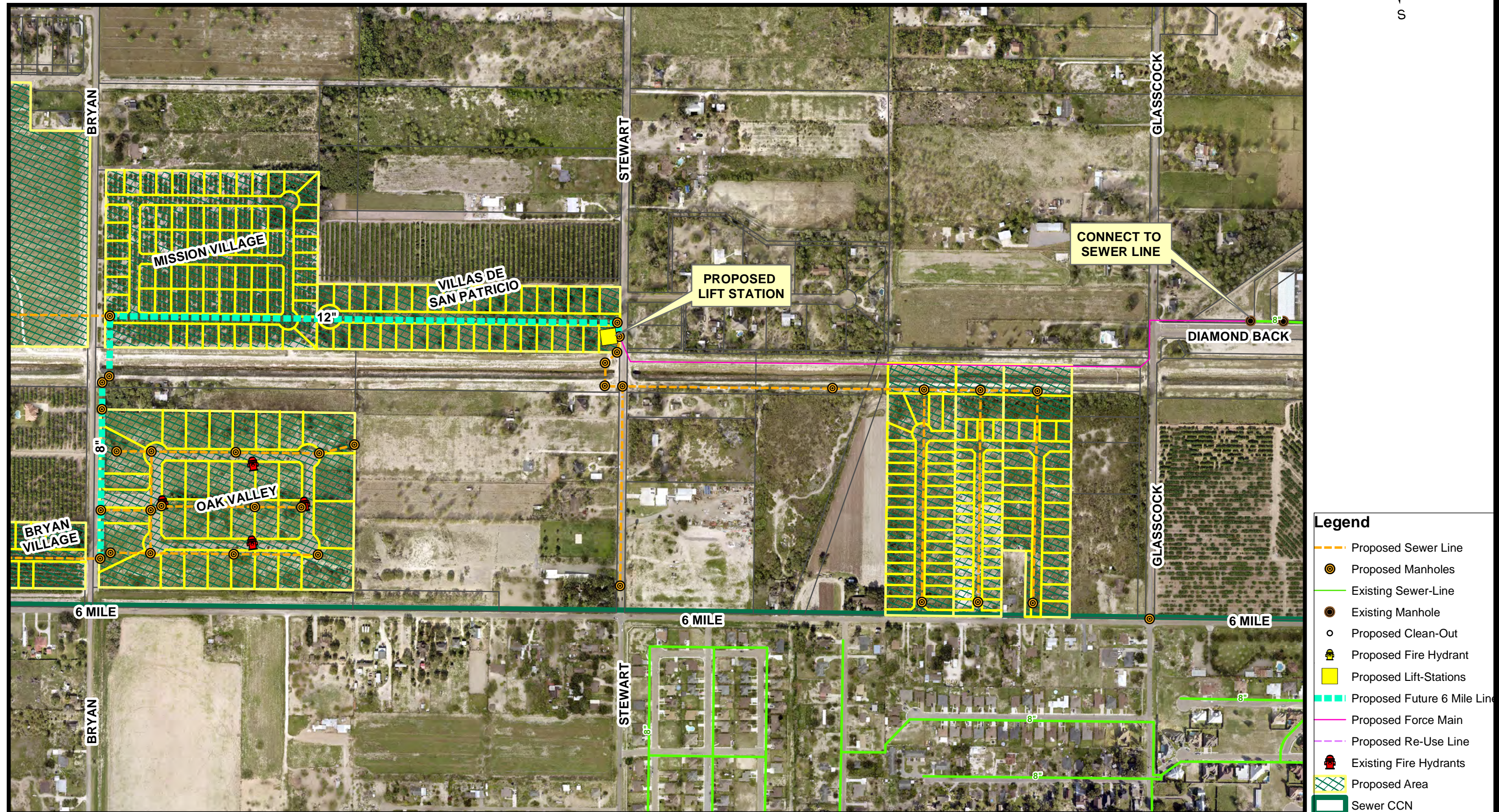
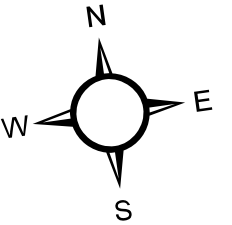
Staff is respectfully requesting Board authorization to allow MPU Staff to work closely with City of McAllen Legal Department to develop a Memorandum of Understanding or Developers Agreement that would speak to the terms of responsibility between the multiple parties. At a minimum, the agreement would include the following:

- 1) A list of landowners participating in Agreement;
- 2) An Exhibit illustrating the General Scope of Utility Improvements;
- 3) An Exhibit illustrating the Planned Ultimate Service Area
- 4) Reference to a Third Party Agreement between the intervening developers
- 5) Indemnification Language protecting McAllen Interests
- 6) Contractual time limits
- 7) Other technical and/or legal requirements that our Legal Department may recommend.

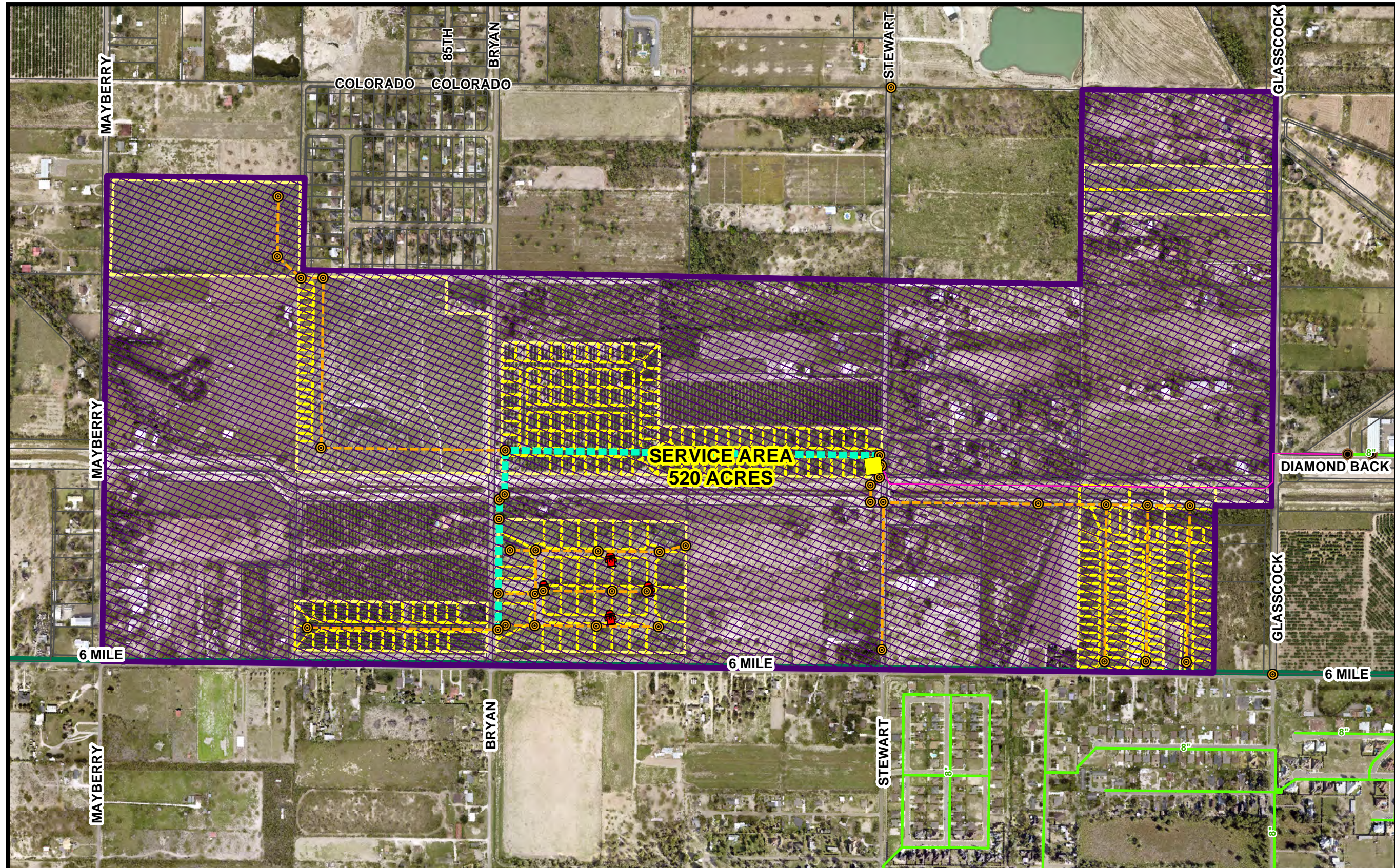
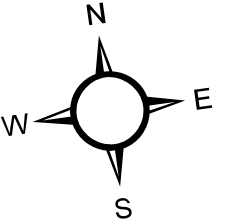
Since, we are not looking at MPU Cost Participation, we are requesting Board authorize administrative approval of agreement by General Manager, upon legal consent such as to expedite project.

Staff and Development Representatives will be available for comments and questions at meeting.

6 MILE - BRYAN MASTER PLAN



6 MILE - BRYAN PRELIMINARY SERVICE AREA



Legend

- Proposed Clean-Out
- 🔥 Proposed Fire Hydrant
- ⦿ Existing Manhole
- 🟡 Proposed Lift-Stations
- ⦿ Proposed Manholes
- Proposed Future 6 Mile Line
- Proposed Force Main
- Proposed Re-Use Line
- Proposed Sewer Line
- 🔥 Existing Fire Hydrants
- ▨ Service Area 3
- ▨ Proposed Area
- Existing Sewer-Line
- ▭ Sewer CCN



AGENDA ITEM

3.a.

PUBLIC UTILITY BOARD

DATE SUBMITTED

02/09/2022

MEETING DATE

2/15/2022

1. Agenda Item: Order amending the budget of the McAllen Public Utility Board of Trustees for Fiscal Year 2021-2022 for an increase in expenditures within the Water Fund.
2. Party Making Request:
Mark Vega, General Manager
3. Nature of Request: Order amending the budget of the McAllen Public Utility Board of Trustees for Fiscal Year 2021-2022 for an increase in expenditures of \$108,661 within the Water Fund for contingency associated with the compensation study.
4. Budgeted:

Bid Amount:	_____	Budgeted Amount:	_____
Under Budget:	_____	Over Budget:	_____
		Amount Remaining:	_____
5. Reimbursement:
6. Routing:
Melba Carvajal Created/Initiated - 2/9/2022
7. Staff's Recommendation: Approval as presented.
8. City Attorney: Approve. IJT
9. MPU General Manager: Approved - MAV
10. Director of Finance for Utilities: Approved - MDC

AN ORDER AMENDING THE BUDGET OF THE McALLEN PUBLIC UTILITY BOARD OF TRUSTEES FOR THE FISCAL YEAR 2021/2022 EFFECTIVE OCTOBER 1, 2021, BY PROVIDING FOR AN INCREASE IN EXPENDITURES TO-WIT: \$108,661 WITHIN THE WATER FUND FOR CONTINGENCY ASSOCIATED WITH THE COMPENSATION STUDY; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the McAllen Public Utility Board of Trustees of the City of McAllen, Texas annually adopts its budget and submits to the City Commission which incorporates such budget in the overall budget for the City by ordinance.

WHEREAS, McAllen Public Utility Board of Trustees by ordinance of the City Commission providing for the creation of the McAllen Public Utility Board of Trustees, has the authority to manage and control the McAllen Public Utility, including control over fiscal matters of the Public Utility Board and therefore, it is not necessary that the City Commission approve the budget of the McAllen Public Utility Board of Trustees, and henceforth the McAllen Public Utility Board of Trustees will approve its budget and all amendments thereto by order which shall be filed along with the City Budget under the provisions of the Local Government Code.

NOW, THEREFORE, BE IT ORDAINED BY THE MCALLEN PUBLIC UTILITY BOARD OF TRUSTEES OF THE CITY OF McALLEN, TEXAS, THAT:

SECTION I: The Budget for the McAllen Public Utility Board of Trustees for the Fiscal Year 2021/2022 which became effective October 1, 2021, on file with the Board's Secretary, is hereby amended in the following particulars as shown on Exhibit "A" attached hereto and incorporated herein for all purposes.

SECTION II: The General Manager as Budget Officer shall provide for the filing of a true copy of this Budget Amendment in the office of the County Clerk, Hidalgo

County, Texas.

SECTION III: This Order shall be effective after its passage and execution in accordance with the law.

SECTION VI: If any part or parts of this Order are found to be invalid or unconstitutional by a court having competent jurisdiction, then such invalidity or unconstitutionality shall not affect the remaining parts hereof and such remaining parts shall remain in full force and effect, and to that extent this Order is considered severable.

CONSIDERED, PASSED and APPROVED this 15th day of February 2022, at a special meeting of the of the McAllen Public Utility Board of Trustees of the City of McAllen, Texas, at which a quorum was present, and which was held in accordance with Chapter 551 of the Texas Government Code.

SIGNED this _____ day of February 2022.

McALLEN PUBLIC UTILITY
BOARD OF TRUSTEES

By: _____
Charles Amos, Chairman

ATTEST:

By: _____
Nyla L. Flatau, Utility Board Secretary

APPROVED AS TO FORM:

Isaac Tawil, City Attorney



BUDGET AMENDMENT REQUEST FORM

FUND: Water Fund
DEPARTMENT: Various
FISCAL YEAR: 2021-2022

To be assigned by Treasury Management Dept.	
REVIEW BY	
DATE OF ENTRY	
ENTRY MADE BY	
JOURNAL ENTRY	
ORDINANCE NO.	
INTRANET CROSS FUND CAPITAL IMPRV PROJECT LISTING UPDATE	

Fund	Dept. & Division	Activity	Element & Object	Project Code	Description	Original/Revised Budget	Debit/Credit	Revised Budget
400	4062	441	61-99			\$ 615,014	108,661	\$ 723,675
								-
								-
								-
								-
								-
								-
TOTALS						\$ 615,014	\$ 108,661	\$ 723,675

(Round up all amounts to the nearest hundred dollars)

JUSTIFICATION:

Additional funds needed for contingency due to adjustments to compensation study

General Manager

Signature _____ Date _____

Treasury Management Dept.

Signature _____ Date _____

Department Head

Signature _____ Date _____



AGENDA ITEM

4.a.

PUBLIC UTILITY BOARD

DATE SUBMITTED

02/09/2022

MEETING DATE

2/15/2022

1. **Agenda Item:** Discussion and Approval of A. Pena Subdivision and Septic Tank Variance.
2. **Party Making Request:**
Rafael Balderas Jr.
3. **Nature of Request:** Request of MPU Board approval from the developer of the proposed subdivision.
4. **Budgeted:**

Bid Amount:		Budgeted Amount:	
Under Budget:		Over Budget:	
		Amount Remaining:	
5. **Reimbursement:** N/A
6. **Routing:**
Rafael Balderas Jr. Created/Initiated - 2/9/2022
7. **Staff's Recommendation:** Staff recommends approval of the proposed subdivision and septic tank variance with the conditions set forth.
8. **City Attorney:** Approve. IJT
9. **MPU General Manager:** Approved - MAV
10. **Director of Finance for Utilities:** Approved - MDC

Memo

TO: Marco A. Vega, P.E., General Manager
J.J. Rodriguez, Asst. General Manager

THRU: Carlos Gonzalez, P.E., Utility Engineer

FROM: Rafael A. Balderas, E.I.T., Asst. to the Utility Engineer

DATE: February 8, 2022

SUBJECT: A. Pena Subdivision; Consideration & Approval of Subdivision and Septic Tank Variance

This property is located on the east side of Citrus Drive, approximately 330 feet south of Michelle Drive, or approximately 3,900 feet north of Monte Cristo. It is located outside of the McAllen City Limits, but with the City's ETJ and Sewer CCN. The tract consists of 5.27 acres and will be 2 lots for single family homes.

The subdivision application was originally filed with the City on October 19, 2021 and has received preliminary P&Z approval on November 16, 2021. The information required from the developer's engineer for this agenda was received on February 3, 2022.

Utility plan/availability is described as follows:

1. **Water Service:** The property falls within the Sharyland Water Supply Corporation Water CCN. The applicant will need to follow the City's standard subdivision requirements as they pertain to fire protection.
2. **Sewer Service:** The applicant is requesting a septic tank variance to service the property. The nearest active sewer line is located approximately 5,500 feet south, along Hoehn Road. Should the Board grant the variance, a contractual agreement would be required.
3. This property does not fall within any utility reimbursement service areas.

Staff recommends MPUB approval of the subdivision application and septic tank variance as proposed subject to the following: 1.) Dedication of a utility easement, possibly along the perimeter of the property, and where the main utility lines will be installed; 2.) Installation of the proposed public utility infrastructure be constructed as proposed; 3.) Should the Board choose to grant the septic tank variance, execution of Contractual Agreement; and 4.) Should the City require a fire hydrant, execution of a Waterline Access Agreement between the developer, SWSC, and the City will be required.

I'll be available for further discussion/questions at the MPUB meeting.

February 2, 2022

Rafael Balderas
McAllen Public Utilities
1300 West Houston Avenue
McAllen, Texas 78501

RE: A. Peña Subdivision – Utility Narrative

Dear Mr. Balderas,

I would like to inform you in a brief narrative on our proposal to service the proposed subdivision with utility services.

Water Distribution:

The proposal is to tap into an existing Sharyland Water Supply Corporation 4-inch water line located along and within the east right-of-way of Citrus Drive. The water system for this subdivision consists of an existing water service connection with an existing water meter for Lot 1 and new ¾-inch water service connection with a water meter for Lot 2 by tapping into the above mentioned existing 4-inch water line.

Sanitary Sewer Service:

The sanitary sewer will be treated by individual on-site sewage facilities (OSSF) consisting of an existing facility on Lot 1 and a proposed standard design dual compartment septic tank with a drain field on Lot 2. Each lot within the proposed subdivision is greater than 1.0 acres in size.

If you have any questions, please call me so that we may discuss them. You can call me at 956-782-2557.

Sincerely,



Ramiro Gutierrez, P.E.
President

cc: File

REIMBURSEMENT WAIVER

STATE OF TEXAS X

COUNTY OF HIDALGO X

THIS CERTIFICATE, issued by the McAllen Public Utility (MPUB), as authorized by such Board of Trustees, hereinafter called the MPUB to Edolfo R. Peña Sr. hereinafter called the DEVELOPER.

1. The DEVELOPER is the developer of the following described property:

A. Peña
(Subdivision Name) and proposes to construct Utility Improvements as shown on a plan designed by R. Gutierrez
(Engineering Firm) dated 1/27/2022 hereinafter called the

IMPROVEMENTS, as approved by the McAllen Public Utility Board on _____
(Approval date)

2. By the execution of this certificate, the Developer hereby waives and disclaims the right to obtain reimbursement from Intervening Developers in accordance with the MPUB's Reimbursement Policy.

ISSUED in triplicate originals this _____ day of _____, 202__.

CITY OF McALLEN BY THE
McALLEN PUBLIC UTILITY

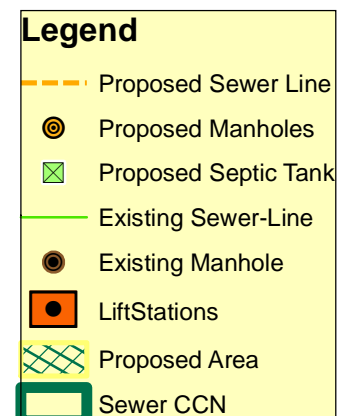
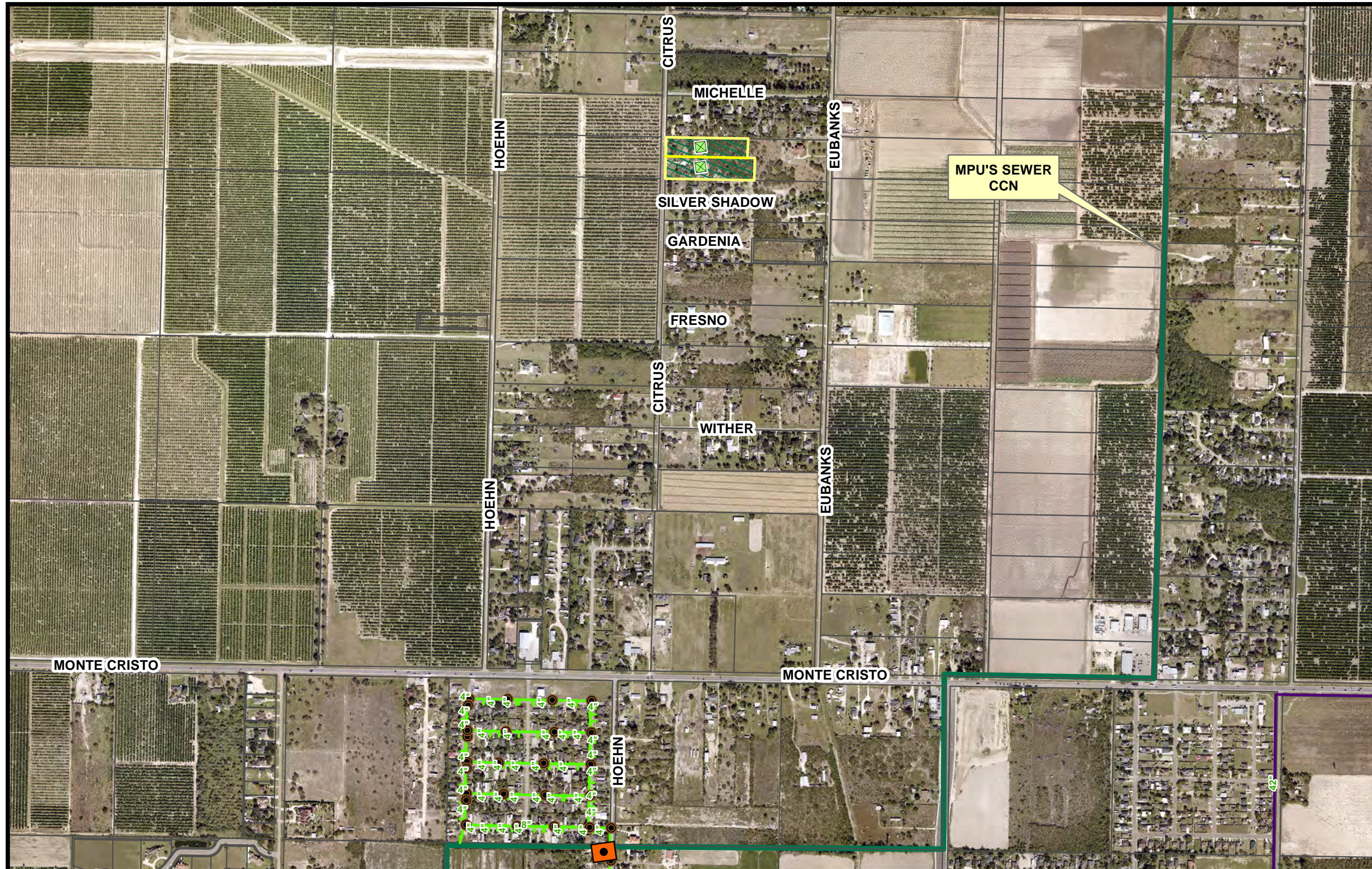
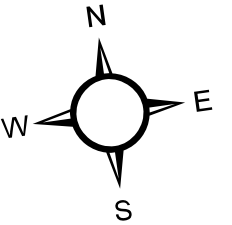
BY: _____
Mark Vega, P.E.
General Manager, McAllen Public Utility
Post Office Box 220
McAllen, Texas 78505-0220
(956) 681-1630

ATTEST:

Board Secretary

DEVELOPER

BY: _____
Address: _____





AGENDA ITEM

4.b.

PUBLIC UTILITY BOARD

DATE SUBMITTED

02/09/2022

MEETING DATE

2/15/2022

1. Agenda Item: Discussion and Approval of Pioneer Estates Subdivision.
2. Party Making Request:
Rafael Balderas Jr.
3. Nature of Request: Request of MPU Board approval from the developer of the proposed subdivision.
4. Budgeted:

Bid Amount:	_____	Budgeted Amount:	_____
Under Budget:	_____	Over Budget:	_____
		Amount Remaining:	_____
5. Reimbursement: N/A.
6. Routing:
Rafael Balderas Jr. Created/Initiated - 2/9/2022
7. Staff's Recommendation: Staff recommends approval of the proposed subdivision with the conditions set forth.
8. City Attorney: Approve. IJT
9. MPU General Manager: Approved - MAV
10. Director of Finance for Utilities: Approved - MDC

Memo

TO: Marco A. Vega, P.E., General Manager
J.J. Rodriguez, Asst. General Manager
THRU: Carlos Gonzalez, P.E., Utility Engineer
FROM: Rafael A. Balderas, E.I.T., Asst. to the Utility Engineer
DATE: February 8, 2022
SUBJECT: Pioneer Estates Subdivision; Consideration & Approval of Subdivision

This property is located on the east side Shary Road and on the south side of 6 Mile Road. It is located within the McAllen City Limits and is being proposed as R-1 residential. The tract consists of 10.201 acres and will be 40 lots for single family homes.

The subdivision application was originally filed with the City on June 14, 2021 and has received preliminary P&Z approval on July 8, 2021. The information required from the developer's engineer for this agenda was received on February 9, 2022

Utility plan/availability is described as follows:

1. **Water Service:** The property falls within the Sharyland Water Supply Corporation Water CCN. The applicant will need to follow the City's standard subdivision requirements as they pertain to fire protection. Coordination with the Fire Department will be needed for the fire hydrant placement.
2. **Sewer Service:** The applicant was proposing to install a temporary lift station to service the property, with the preparation of a connection to the future sewer line to be installed along 6 Mile. Staff recommended that the money for the lift station be escrowed and used in participation with the 6 Mile Project. The participation will give the developer a share in the future reimbursement certificate. An MOU will be established and presented in a future Board meeting.
3. No utility reimbursements apply to this property.

Staff recommends MPUB approval of the subdivision application as proposed subject to the following: 1.) Dedication of a utility easement, possibly along the perimeter of the property, and where the main utility lines will be installed; 2.) Installation of the proposed public utility infrastructure be constructed as proposed; 3.) Execution of a Waterline Access Agreement between the Developer, SWSC, and the City; and 4.) Payment of an escrow for the project engineers estimate of the lift station in the amount of \$250,000 to be paid prior to the plat being recorded.

I'll be available for further discussion/questions at the MPUB meeting.

MAS ENGINEERING, LLC
TBPE Firm No. 15499

WATER AND SANITARY SEWER NARRATIVE
For
Pioneer Estates Subdivision
McAllen, Texas

AN 10.20 ACRES OUT LOT 445, JOHN H. SHARY SUBDIVISION, RECORDED IN VOLUME 1 PAGE 17, HIDALGO COUNTY, TEXAS, SAME BEING OUT OF A 53.034 ACRE TRACT DESCRIBED IN A SPECIAL WARRANTY DEED DATED NOVEMBER 30, 2004, CONVEYED TO JO ANN SCHOENING LEIBOWITZ AND LINDA KNELL-SCHOENING, RECORDED IN DOCUMENTS NO. 1412561, OFFICIAL PUBLIC RECORDS HIDALGO COUNTY, TEXAS


THIS IS A 40 RESIDENTIAL LOTS SUBDIVISION, WHICH IS LOCATED ON N. SHARY ROAD AND 6 MILE LINE, APPROXIMATELY 150 FT. SOUTH OF 6 MILE LINE ON THE EAST SIDE, WITHIN THE IN MCALLEN E.T.J., TEXAS.

WATER SUPPLY DESCRIPTION

PIONEER ESTATES SUBDIVISION WILL BE PROVIDED WITH POTABLE WATER BY SHARYLAND WATER SUPPLY.

SANITARY SEWER SYSTEM DESCRIPTION

THE SUBDIVISION WILL PROVIDE WITH SANITARY SEWER FROM THE CITY OF MCALLEN. THE CITY OF MCALLEN HAS AN EXISTING 8" DIAMETER SANITARY SEWER LINE AND MANHOLE LOCATED APPROXIMATELY 1,700 FT NORTH FROM THE SAID TRACT ON THE NORTH SIDE OF THE EXISTING DRAINAGE DITCH. THIS SUBDIVISION WILL EXTEND A 4" FORCE MAIN ALONG SHARY RD. TO THE EXISTING MANHOLE ON THE NORTH SIDE OF THE DITCH FROM A PROPOSED LIFT STATION IN THIS SUBDIVISION.


MARIO A. SALINAS, P.E.



REIMBURSEMENT WAIVER

STATE OF TEXAS X

COUNTY OF HIDALGO X

THIS CERTIFICATE, issued by the McAllen Public Utility (MPUB), as authorized by such Board of Trustees, hereinafter called the MPUB to Javier Aldape hereinafter called the DEVELOPER.

1. The DEVELOPER is the developer of the following described property:

Pioneer Estates Subdivision and proposes to construct Utility Improvements as shown on a plan
(Subdivision Name)

designed by MAS Engineering LLC dated 1/20/22, hereinafter called the
(Engineering Firm)

IMPROVEMENTS, as approved by the McAllen Public Utility Board on _____
(Approval date)

2. By the execution of this certificate, the Developer hereby waives and disclaims the right to obtain reimbursement from Intervening Developers in accordance with the MPUB's Reimbursement Policy.

ISSUED in triplicate originals this _____ day of _____, 202__.

CITY OF McALLEN BY THE
McALLEN PUBLIC UTILITY

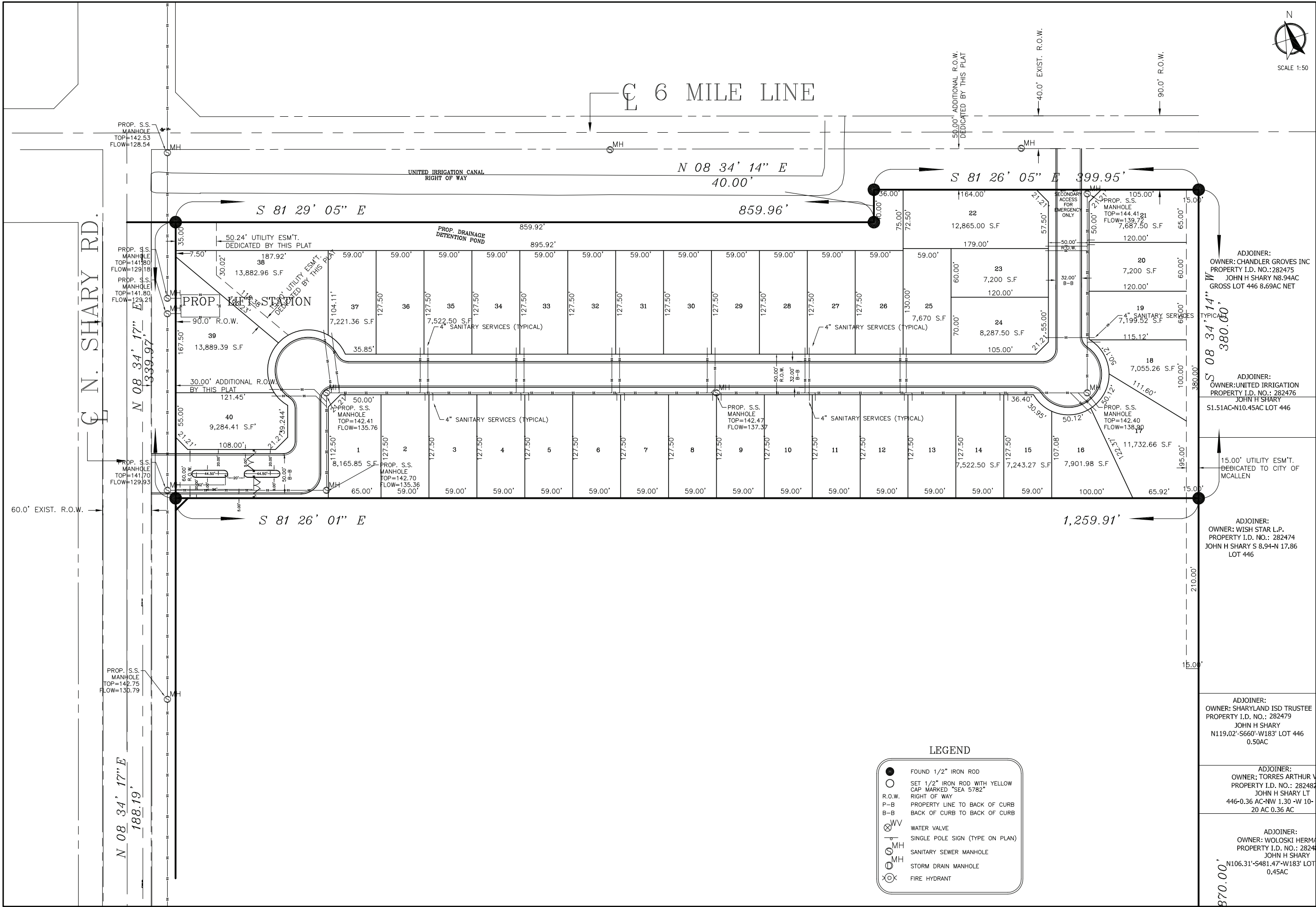
BY: _____
Mark Vega, P.E.
General Manager, McAllen Public Utility
Post Office Box 220
McAllen, Texas 78505-0220
(956) 681-1630

ATTEST:

Board Secretary

DEVELOPER

BY: _____
Address: _____



LEGEND

- FOUND 1/2" IRON ROD
- SET 1/2" IRON ROD WITH YELLOW CAP MARKED "SEA 5782"
- R.O.W. RIGHT OF WAY
- P-B PROPERTY LINE TO BACK OF CURB
- B-B BACK OF CURB TO BACK OF CURB
- ⊗ WV WATER VALVE
- ⊕ SINGLE POLE SIGN (TYPE ON PLAN)
- MH SANITARY SEWER MANHOLE
- MH STORM DRAIN MANHOLE
- ⊗ FH FIRE HYDRANT

ADJOINER:
OWNER: CHANDLER GROVES INC
PROPERTY I.D. NO.: 282475
JOHN H SHARY N8.94AC
GROSS LOT 446 8.69AC NET

ADJOINER:
OWNER: UNITED IRRIGATION
PROPERTY I.D. NO.: 282476
JOHN H SHARY
S1.51AC-N10.45AC LOT 446

ADJOINER:
OWNER: WISH STAR L.P.
PROPERTY I.D. NO.: 282474
JOHN H SHARY S 8.94-N 17.86
LOT 446

ADJOINER:
OWNER: SHARYLAND ISD TRUSTEE
PROPERTY I.D. NO.: 282479
JOHN H SHARY
N119.02'-S660'-W183' LOT 446
0.50AC

ADJOINER:
OWNER: TORRES ARTHUR V
PROPERTY I.D. NO.: 282482
JOHN H SHARY LT
446-0.36 AC-NW 1.30 -W 10-
20 AC 0.36 AC

ADJOINER:
OWNER: WOLOSKI HERMA
PROPERTY I.D. NO.: 282484
JOHN H SHARY
N106.31'-S481.47'-W183' LOT
0.45AC

PROJECT NAME: PIONEER ESTATES SUBDIVISION

ADDRESS: McALLEN, TEXAS

CLIENT INFORMATION: ALDAPE DEVELOPMENT LLC

MAS ENGINEERING LLC.
CONSULTING ENGINEERING
FIRM NO. F-15499

3911 N 10TH STREET, SUITE H
McALLEN, TEXAS 78501

PH: (956) 537-1311
E-MAIL: MSALINAS6973@ATT.NET

THIS IS THE PROPERTY OF THE PROFESSIONAL ENGINEER WHOSE SEAL APPEARS ON THIS DRAWING AND IT IS UNLAWFUL TO REUSE THIS DRAWING ON ANY OTHER PROJECT, OR TO COPY, TRACE OR IN ANY MANNER, REPRODUCE ANY OF ALL PARTS OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.

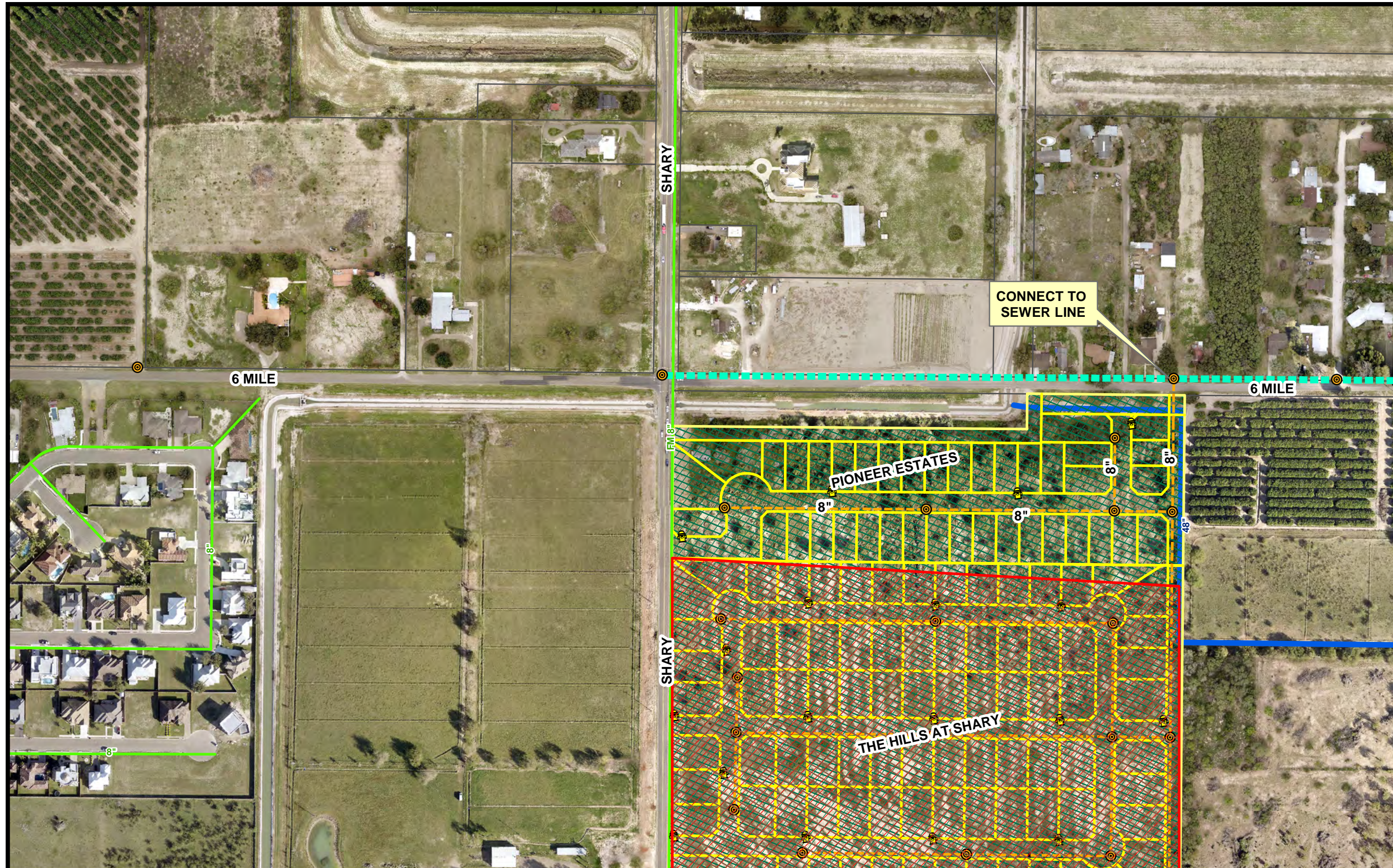
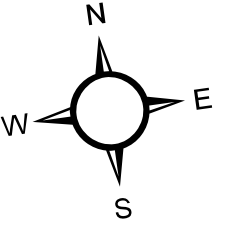
SHEET NAME: **SANITARY SEWER PLAN**

REVISION:	BY:	APPROVED BY:
1	JB	MAS

DATE OF PREPARATION:
09-24-2021

PROJECT No.	SHEET No.
	C-3

PIONEER ESTATES



Legend

- Proposed Sewer Line
- Proposed Manholes
- Existing Sewer-Line
- Existing Manhole
- Proposed Clean-Out
- Proposed Fire Hydrant
- Proposed Lift-Stations
- Proposed Future 6 Mile Line
- Proposed Force Main
- Proposed Water Line
- Existing Waterline
- Proposed Re-Use Line
- Existing Fire Hydrants
- Proposed Area



AGENDA ITEM

4.c.

PUBLIC UTILITY BOARD

DATE SUBMITTED

02/09/2022

MEETING DATE

2/15/2022

1. Agenda Item: Discussion and Approval of The Hills at Sharyland Subdivision.

**2. Party Making Request:
Rafael Balderas Jr.**

3. Nature of Request: Request of MPU Board approval from the developer of the proposed subdivision.

4. Budgeted:

Bid Amount: _____
Under Budget: _____

Budgeted Amount: _____
Over Budget: _____
Amount Remaining: _____

5. Reimbursement: N/A.

6. Routing:
Rafael Balderas Jr. Created/Initiated - 2/9/2022

7. Staff's Recommendation: Staff recommends approval of the proposed subdivision with the conditions of the proposed subdivision.

8. City Attorney: Approve. IJT

9. MPU General Manager: Approved - MAV

10. Director of Finance for Utilities: Approved - MDC

Memo

TO: Marco A. Vega, P.E., General Manager
J.J. Rodriguez, Asst. General Manager

THRU: Carlos Gonzalez, P.E., Utility Engineer

FROM: Rafael A. Balderas, E.I.T., Asst. to the Utility Engineer

DATE: February 8, 2022

SUBJECT: The Hills at Sharyland Subdivision; Consideration & Approval of Subdivision

This property is located on the east side Shary Road and approximately 340 feet south of 6 Mile Road. It is located within the McAllen City Limits and is being proposed as R-2 residential. The tract consists of 25.14 acres and will be 84 lots for four plex's.

The subdivision application was originally filed with the City on May 19, 2021 and has received preliminary P&Z approval on July 8, 2021. The information required from the developer's engineer for this agenda was received on February 9, 2022.

Utility plan/availability is described as follows:

1. **Water Service:** The property falls within the Sharyland Water Supply Corporation Water CCN. The applicant will need to follow the City's standard subdivision requirements as they pertain to fire protection. Coordination with the Fire Department will be needed for the fire hydrant placement.
2. **Sewer Service:** The applicant is proposing to connect to the proposed sewer system within the northern neighbor (Pioneer Estates – same owner) that would connect to the sewer line on 6 Mile. This subdivision will also be involved with the MOU that will be established and presented in a future Board meeting.
3. No utility reimbursements apply to this property.

Staff recommends MPUB approval of the subdivision application as proposed subject to the following: 1.) Dedication of a utility easement, possibly along the perimeter of the property, and where the main utility lines will be installed; 2.) Installation of the proposed public utility infrastructure be constructed as proposed; 3.) Execution of a Waterline Access Agreement between the Developer, SWSC, and the City; and 4.) Payment of an escrow for the project engineers estimate of the lift station in the amount of \$250,000 to be paid prior to the plat being recorded.

I'll be available for further discussion/questions at the MPUB meeting.

MAS ENGINEERING, LLC
TBPE Firm No. 15499

WATER AND SANITARY SEWER NARRATIVE
For
The Hills at Sharyland Subdivision
McAllen, Texas

A 25.14 ACRES OUT LOT 445, JOHN H. SHARY SUBDIVISION, RECORDED IN VOLUME 1 PAGE 17, HIDALGO COUNTY, TEXAS, SAME BEING OUT OF A 53.034 ACRE TRACT DESCRIBED IN A SPECIAL WARRANTY DEED DATED NOVEMBER 30, 2004, CONVEYED TO JO ANN SCHOENING LEIBOWITZ AND LINDA KNELL-SCHOENING, RECORDED IN DOCUMENTS NO. 1412561, OFFICIAL PUBLIC RECORDS HIDALGO COUNTY, TEXAS.

THIS IS A 84 MULTI-FAMILY LOTS SUBDIVISION (FOUPLEX LOTS), WHICH IS LOCATED ON N. SHARY ROAD AND 6 MILE LINE, APROXMATLEY 750 FT. SOUTH OF 6 MILE LINE ON THE EAST SIDE, WITHIN THE IN CITY OF MCALLEN E.T.J., TEXAS.

WATER SUPPLY DESCRIPTION

PIONEER ESTATES SUBDIVISION WILL BE PROVIDED WITH POTABLE WATER BY SHARYLAND WATER SUPPLY.

SANITARY SEWER SYSTEM DESCRIPTION

THE SUBDIVISION WILL PROVIDE WITH SANITARY SEWER FROM THE CITY OF MCALLEN. THE CITY OF MCALLEN HAS AN EXISTING 8" DIAMETER SANITARY SEWER LINE AND MANHOLE LOCATED APPROXIMATELY 2,150 FT NORTH FROM THE SAID TRACT ON THE NORTH SIDE OF THE EXISTING DRAINAGE DITCH. THIS SUBDIVISION WILL EXTEND AN 8" GRAVITY LINE TOWARD THE PROPOSED PIONEER ESTATES SUBDIVISION APPROXIMATELY 800 FT NORTH TO A PROPOSED LIFT STATION, THEN WITH A 4" FORCE MAIN BE EXTENDED ALONG SHARY RD. TO THE EXISTING MANHOLE ON THE NORTH SIDE OF THE DITCH.



MARIO A. SALINAS, P.E.



REIMBURSEMENT WAIVER

STATE OF TEXAS X

COUNTY OF HIDALGO X

THIS CERTIFICATE, issued by the McAllen Public Utility (MPUB), as authorized by such Board of Trustees, hereinafter called the MPUB to Javier Aldape hereinafter called the DEVELOPER.

1. The DEVELOPER is the developer of the following described property:

The Hills at Sharyland Subd. and proposes to construct Utility Improvements as shown on a plan
(Subdivision Name)

designed by MAS Engineering LLC. dated _____, hereinafter called the
(Engineering Firm)

IMPROVEMENTS, as approved by the McAllen Public Utility Board on _____,
(Approval date)

2. By the execution of this certificate, the Developer hereby waives and disclaims the right to obtain reimbursement from Intervening Developers in accordance with the MPUB's Reimbursement Policy.

ISSUED in triplicate originals this _____ day of _____, 201_.

CITY OF McALLEN BY THE
McALLEN PUBLIC UTILITY

BY: _____
Mark Vega, P.E.
General Manager, McAllen Public Utility
Post Office Box 220
McAllen, Texas 78505-0220
(956) 681-1630

ATTEST:

Board Secretary

DEVELOPER

BY: _____
Address: _____

MAP
OF
THE HILLS AT SHARYLAND SUBDIVISION
HIDALGO COUNTY, TEXAS

BEING 25.140 ACRES OUT LOT 445, JOHN H. SHARY SUBDIVISION, RECORDED IN VOLUME 1, PAGE 17, HIDALGO COUNTY, TEXAS, SAME BEING OUT OF A 53.034 ACRE TRACT DESCRIBED IN A SPECIAL WARRANTY DEED DATED SEPTEMBER 9, 2021, CONVEYED TO ALDAPE DEVELOPMENT, LLC, A TEXAS LIMITED LIABILITY COMPANY, RECORDED IN DOCUMENT NO. 3261823, OFFICIAL PUBLIC RECORDS HIDALGO COUNTY, TEXAS.

METES AND BOUNDS DESCRIPTION

BEING 25.140 ACRES OUT LOT 445, JOHN H. SHARY SUBDIVISION, RECORDED IN VOLUME 1, PAGE 17, HIDALGO COUNTY, TEXAS, SAME BEING OUT OF A 53.034 ACRE TRACT DESCRIBED IN A SPECIAL WARRANTY DEED DATED SEPTEMBER 9, 2021, CONVEYED TO ALDAPE DEVELOPMENT, LLC, A TEXAS LIMITED LIABILITY COMPANY, RECORDED IN DOCUMENT NO. 3261823, OFFICIAL PUBLIC RECORDS HIDALGO COUNTY, TEXAS, SAID 25.140 ACRES TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:
COMMENCING AT A MAG NAIL FOUND, THE NORTHWEST OF CORNER OF THE SAID LOT 445, SAME BEING A POINT ON THE CENTER LINE OF F.M. 494 (N SHARY ROAD);
THENCE, S083°17'W, ALONG THE WEST LINE OF THE AID LOT 445, SAME BEING THE CENTER LINE OF F.M. 494 (N SHARY ROAD), A DISTANCE OF 109.87 FEET TO A CALCULATED POINT ON THE WEST LINE OF THE SAID LOT 445, SAME BEING A POINT ON THE CENTER LINE OF F.M. 494 (N SHARY ROAD);
THENCE, S081°26'09"E, ACROSS THE SAID LOT 445, PASSING AT A DISTANCE OF 30.00 FEET A 1/4 INCH IRON ROD FOUND, CONTINUING FOR A TOTAL DISTANCE OF 60.00 FEET TO A CAPPED IRON ROD STAMPED "ROWS" FOUND ON THE EAST RIGHT-OF-WAY LINE OF F.M. 494 (N SHARY ROAD), SAME BEING THE NORTHWEST CORNER OF THE SAID ALDAPE TRACT;
THENCE, S083°41'17"W, ALONG THE EAST RIGHT-OF-WAY LINE OF F.M. 494 (N SHARY ROAD), SAME BEING THE WEST LINE OF THE SAID ALDAPE TRACT, A DISTANCE OF 339.97 FEET TO AN IRON ROD WITH A PINK CAP SET FOR THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT AND THE **POINT OF BEGINNING**;
THENCE, S81°26'01"E, ACROSS THE SAID LOT 445, A DISTANCE OF 1259.91 FEET TO AN IRON ROD WITH A PINK CAP SET ON THE EAST LINE OF THE SAID LOT 445, FOR THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;
THENCE, S083°41'14"W, ALONG THE EAST LINE OF THE SAID LOT 445, SAME BEING THE EAST LINE OF THE SAID ALDAPE TRACT, A DISTANCE OF 869.95 FEET TO AN IRON ROD WITH A PINK CAP SET, THE SOUTHEAST CORNER OF THE SAID LOT 445, SAME BEING THE NORTHEAST CORNER OF A CALLED 15.06 ACRE TRACT CONVEYED TO NODAS ARK INVESTMENTS, LLC, DESCRIBED IN A WARRANTY DEED WITH VENDORS LIEN DATED APRIL 17, 2015, RECORDED IN DOCUMENT NO. 2608026, OFFICIAL PUBLIC RECORDS HIDALGO COUNTY, TEXAS, SAME BEING THE SOUTHWEST CORNER OF THE SAID ALDAPE TRACT, FOR THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;
THENCE, N83°26'01"W, ALONG THE SOUTH LINE OF THE SAID LOT 445, SAME BEING THE NORTH LINE OF THE SAID 15.06 ACRE TRACT, SAME BEING THE SOUTH LINE OF THE SAID ALDAPE TRACT, A DISTANCE OF 1252.70 FEET TO A CAPPED IRON ROD STAMPED "ROWS" FOUND ON THE NORTHEAST RIGHT-OF-WAY LINE OF F.M. 494 (N SHARY ROAD), SAME BEING THE NORTHWEST CORNER OF THE SAID 15.06 ACRE TRACT, SAME BEING THE SOUTHWEST CORNER OF THE SAID ALDAPE TRACT, FOR THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;
THENCE, ALONG THE EAST RIGHT-OF-WAY LINE OF F.M. 494 (N SHARY ROAD), SAME BEING A CURVE TO THE RIGHT HAVING AN ANGLE OF 0205'09", A RADIUS OF 11040.00 FEET, ARC LENGTH 401.90, A CHORD BEARING OF N073°28'E, A DISTANCE OF 401.88 FEET TO A CAPPED IRON ROD STAMPED "ROWS" FOUND ON THE EAST RIGHT-OF-WAY LINE OF F.M. 494 (N SHARY ROAD), FOR AN EXTERIOR CORNER OF THE HEREIN DESCRIBED TRACT;
THENCE, N082°41'17"E, ALONG THE EAST RIGHT-OF-WAY LINE OF F.M. 494 (N SHARY ROAD), A DISTANCE OF 468.14 FEET TO THE **POINT OF BEGINNING**, AND CONTAINING 25.140 ACRE OF LAND, MORE OR LESS.

STATE OF TEXAS:

COUNTY OF HIDALGO:

I, THE UNDERSIGNED CERTIFY THAT THIS PLAT OF **THE HILLS SHARYLAND SUBDIVISION**, WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY HEALTH DEPARTMENT ON _____

HIDALGO COUNTY ASSISTANT CHIEF INSPECTOR _____ DATE: _____

STATE OF TEXAS:

COUNTY OF HIDALGO:

I, THE UNDERSIGNED MAYOR OF THE CITY OF MCGALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF MCGALLEN _____ DATE _____

STATE OF TEXAS:

COUNTY OF HIDALGO:

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF MCGALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING AND ZONING COMMISSION _____ DATE _____

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 CERTIFICATE

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE NO. 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

BY: RAUL SESIN, P.E., C.F.M., DISTRICT MANAGER _____ DATE _____

STATE OF TEXAS:

COUNTY OF HIDALGO:

I, THE UNDERSIGNED, **MARIO A. SALINAS**, A LICENSED PROFESSIONAL ENGINEER, IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

MARIO A. SALINAS
LICENSED PROFESSIONAL ENGINEER # 96611
3911 N. 10TH STREET, SUITE H
MCGALLEN, TEXAS 78501



I, **SHERILYN DAHLBERG**, HEREBY CONDITIONALLY CERTIFY THAT POTABLE WATER SERVICE IS AVAILABLE FOR **THE HILLS AT SHARYLAND SUBDIVISION** LOCATED AT _____ IN HIDALGO COUNTY, TEXAS, SUBJECT TO THE SUBDIVISION'S POTABLE WATER SYSTEM MEETING THE APPROVAL OF THE DEVELOPER'S DESIGN ENGINEER, ALL APPLICABLE RULES AND REGULATIONS OF SHARYLAND WATER SUPPLY CORPORATION, AND LOCAL, STATE, AND FEDERAL AGENCIES.

DEVELOPER AND ITS DESIGN ENGINEER SHALL BEAR FULL RESPONSIBILITY TO ENSURE THAT THE ABOVE REFERENCED POTABLE WATER SYSTEM IS CONSTRUCTED WITHIN THE DESIGNATED SHARYLAND WATER SUPPLY CORPORATION EXCLUSIVE EASEMENT.

SHERILYN DAHLBERG
GENERAL MANAGER
SHARYLAND WATER SUPPLY CORPORATION

UNITED IRRIGATION DISTRICT

THIS PLAT IS HEREBY APPROVED BY THE UNITED IRRIGATION DISTRICT, ON THIS THE _____, DAY OF _____, 20____.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION TREES, FENCES AND BUILDINGS) SHALL BE PLACED UPON UNITED IRRIGATION DISTRICT RIGHT OF WAYS OR EASEMENTS. APPROVAL OF THIS PLAT DOES NOT RELEASE ANY RIGHTS THAT THE DISTRICT MAY HAVE WHETHER SHOWN OR NOT..

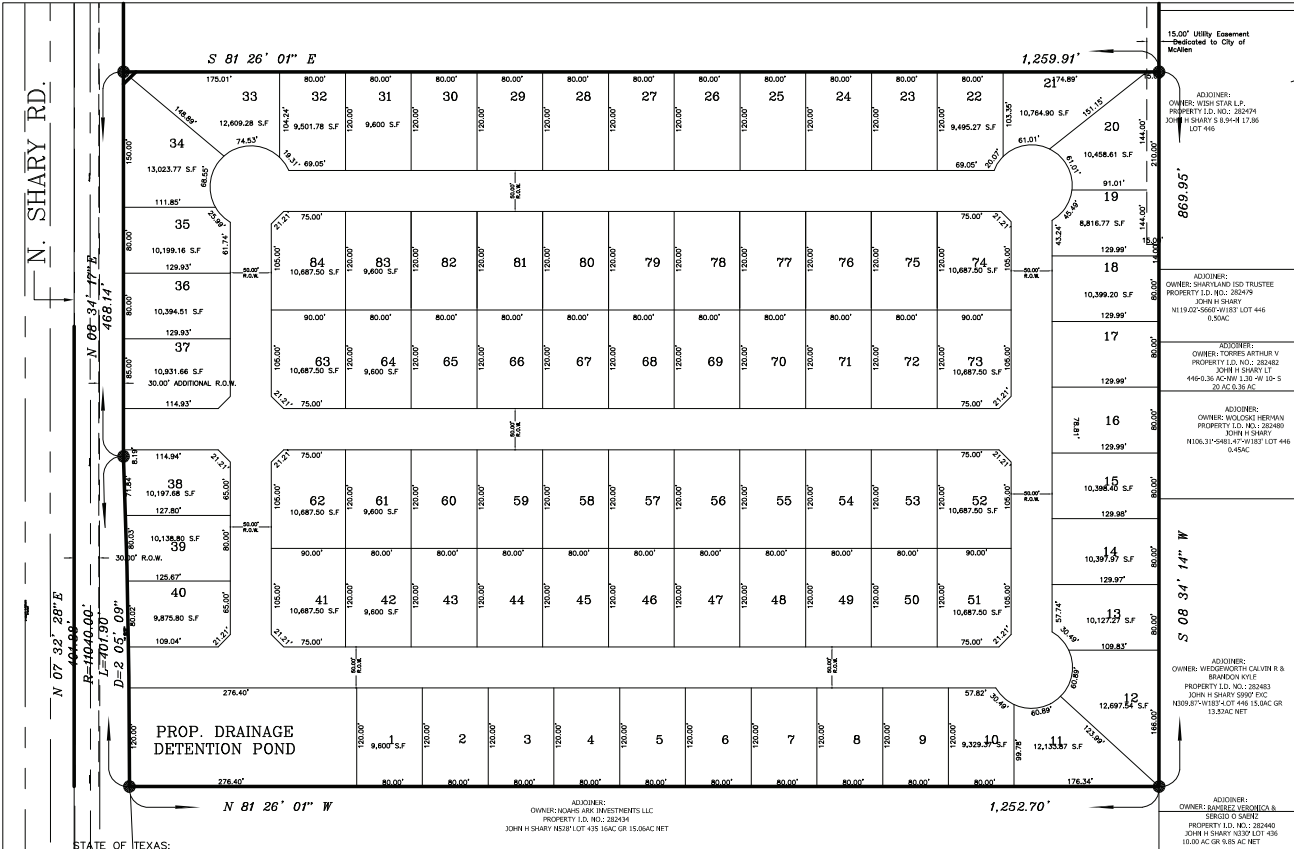
SECRETARY _____ PRESIDENT _____ DAY OF _____, 2021.

DATE OF PREPARATION 10-13-21

MAS ENGINEERING LLC.
CONSULTING ENGINEERING
FIRM NO. F-15499

3911 N. 10TH STREET, SUITE H
MCGALLEN, TEXAS. 78501

PH. (956) 537-1311
E-MAIL: MSALINAS6973@ATT.NET



STATE OF TEXAS:
COUNTY OF HIDALGO:
OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION

I, **ALDAPE DEVELOPMENT, LLC**, SUBDIVIDER, AS OWNER OF THE **8.85 AC** TRACT OF LAND ENCOMPASSED WITHIN THE PROPOSED **THE HILLS AT SHARYLAND** HEREBY SUBDIVIDE THE LAND AS DEPICTED IN THIS SUBDIVISION PLAT AND DEDICATE TO PUBLIC USE THE STREETS AND EASEMENTS SHOWN HEREON.
I CERTIFY THAT I HAVE COMPLIED THE REQUIREMENTS OF TEXAS LOCAL GOVERNMENT CODE 232.032 AND SECTION 134-61 OF SUBDIVISION ORDINANCE, THAT:
(A) THE WATER QUALITY AND CONNECTIONS TO THE LOTS MEET, OR WILL MEET THE MINIMUM STATE STANDARDS;
(B) SEWER CONNECTIONS TO THE LOTS OR SEPTIC TANKS MEET OR WILL MEET THE MINIMUM REQUIREMENTS OF STATE STANDARDS;
(C) ELECTRICAL CONNECTIONS PROVIDED TO THE LOTS MEET OR WILL MEET THE MINIMUM STATE STANDARDS; AND
(D) GAS CONNECTIONS, IF AVAILABLE, PROVIDED TO THE LOTS MEET OR WILL MEET THE MINIMUM STATE STANDARDS.
I ATTEST THAT THE MATTERS ASSERTED IN THIS PLAT ARE TRUE AND COMPLETE.

DATE _____

HIDALGO COUNTY

STATE OF TEXAS:
COUNTY OF HIDALGO:

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, ON THIS DAY PERSONALLY APPEARED **ALDAPE DEVELOPMENT** PROVED TO ME THROUGH HIS TEXAS DEPARTMENT PUBLIC SAFETY DRIVER'S LICENSE TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FORGOING INSTRUMENT, WHO, BEING DULY SWORN BY ME, DECLARED THAT HIS STATEMENT THEREIN IS TRUE AND CORRECT AND ACKNOWLEDGED THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREBY EXPRESSED.
GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 2021.

NOTARY PUBLIC
MY COMMISSION _____ EXPIRES _____

FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM PM
INSTRUMENT NUMBER _____
OF MAP RECORDS OF HIDALGO COUNTY, TEXAS

HIDALGO COUNTY JUDGE _____ DATE _____

HIDALGO COUNTY CLERK _____ DATE _____

BY: _____, DEPUTY

STATE OF TEXAS:
COUNTY OF HIDALGO:

I, THE UNDERSIGNED, **DAVID O. SALINAS**, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY ON THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND AND THAT THE CORNER MONUMENTS WERE PROPERLY PLACED UNDER MY SUPERVISION AND THAT ALL ASPECTS OF IT ARE IN ACCORDANCE WITH THE CITY OF MCGALLEN SUBDIVISION ORDINANCE AND ALL STATE STATUTES GOVERNING SURVEYS.

SALINAS ENGINEERING & ASSOCIATES
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5782
2221 Daffodil Ave.
MCGALLEN, TEXAS 78501

PRINCIPAL CONTACTS:

Name	Address	City & Zip	Phone
OWNER: ALDAPE DEVELOPMENT	4508 S. Tyler Ave.	McAllen, Texas 78503	(956) 802-4785
ENGINEER: MARIO A. SALINAS	3911 N. 10 th. St. SUITE H	McAllen, Tx. 78501	(956) 537-1311
SURVEYOR: DAVID O. SALINAS	2221 Daffodil Ave.	McAllen, Tx. 78501	(956) 682-9081

SHEET
1
OF 3

STATE OF TEXAS:
COUNTY OF HIDALGO:

I/WE THE UNDERSIGNED HOLDER(S) (OR DULY AUTHORIZED OFFICERS OF THE HOLDER(S)) OF A SECURITY INTEREST IN THE ABOVE DESCRIBED PROPERTY, BEING THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS **THE HILLS AT SHARYLAND SUBDIVISION** OF THE CITY OF MCGALLEN, TEXAS, DO HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AS PROVIDED FOR UNDER THE PLAT AND DO HEREBY PROVIDE THAT ANY FORECLOSURE RELATING TO THE SECURITY INTEREST ON THE ABOVE DESCRIBED PROPERTY SHALL BE SUBJECT TO THE PLATING OF THE PROPERTY AS PROVIDED FOR HEREIN.

MIGUEL A. RODRIGUEZ & LUCIA A. RODRIGUEZ
5402 S. CESAR CHAVEZ ROAD
EDINBURG, TEXAS 78542

STATE OF TEXAS:
COUNTY OF HIDALGO:
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED **MIGUEL A. RODRIGUEZ & LUCIA A. RODRIGUEZ**, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING THIS THE _____ DAY OF _____, 2020.

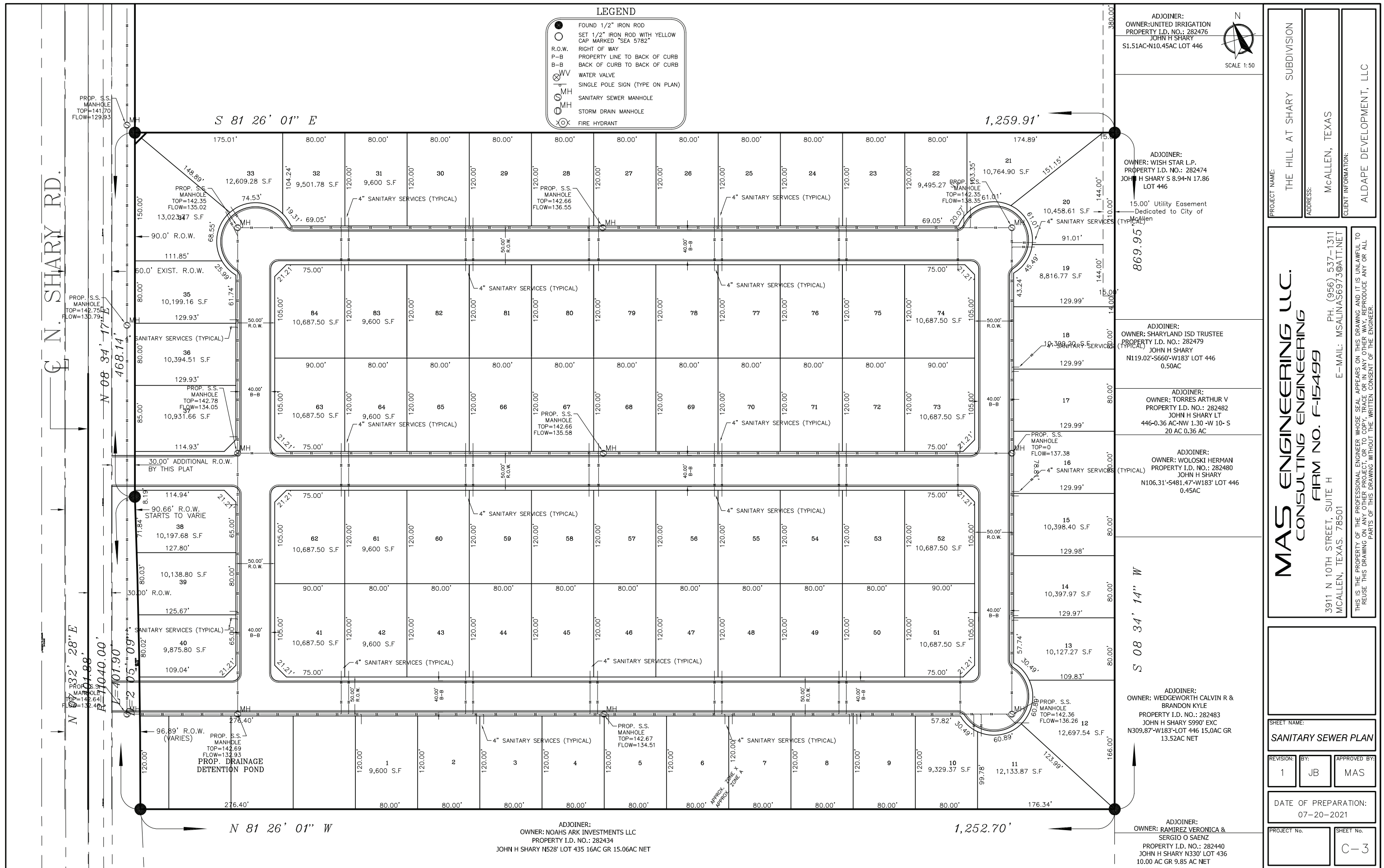
NOTARY PUBLIC _____

I N D E X

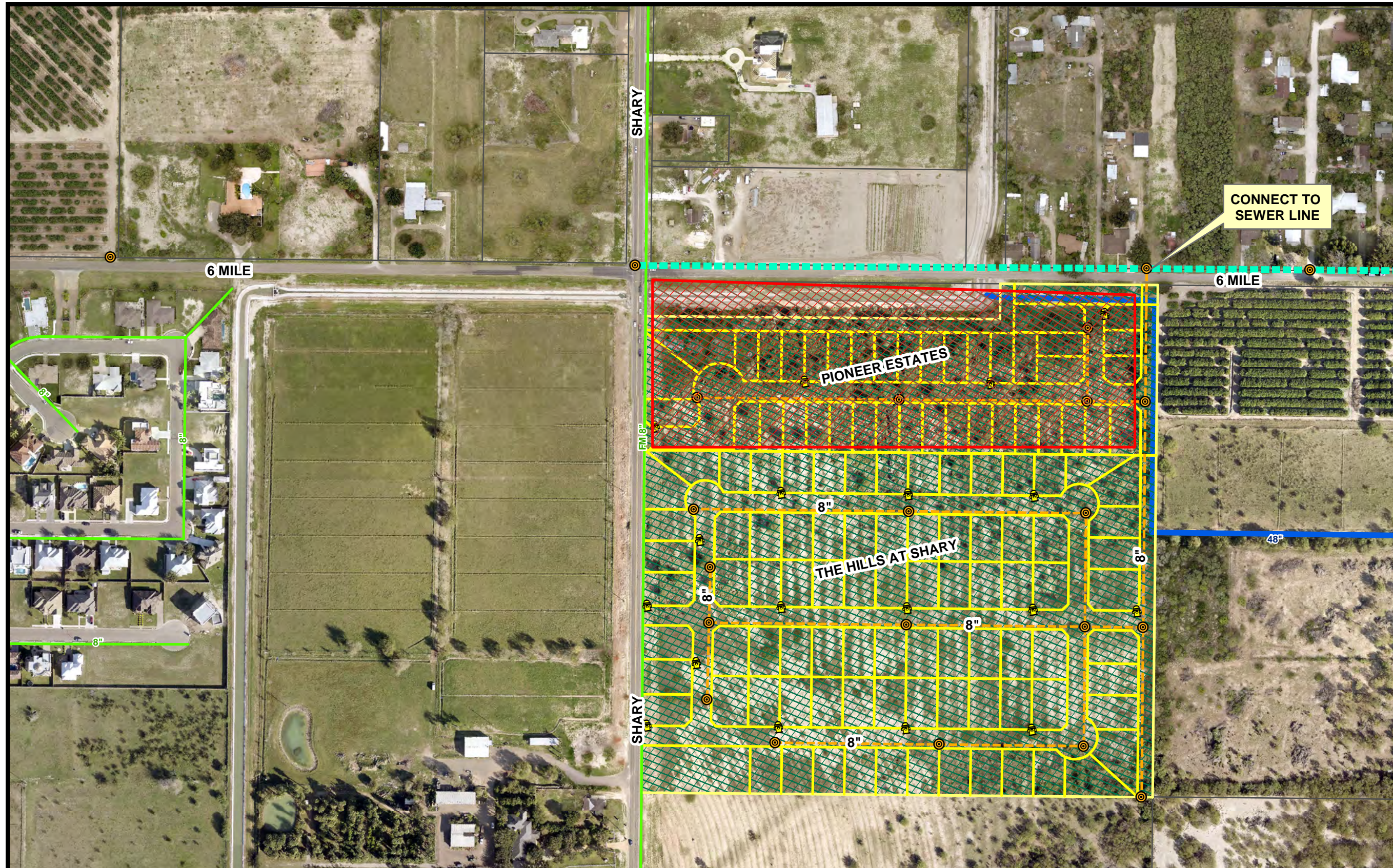
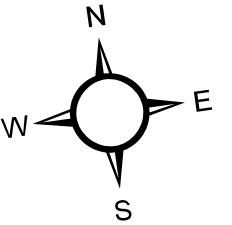
1 SHEETS
LOCATION MAP AND ETJ; PRINCIPAL CONTACTS: PLAT WITH LOTS, STREETS, AND EASEMENT DESIGNATIONS; LEGAL DESCRIPTION (METES AND BOUNDS); SURVEYOR'S AND ENGINEER'S CERTIFICATION; PLAT NOTES AND RESTRICTIONS; OWNER'S DEDICATION, CERTIFICATION AND ATTESTATION; CITY APPROVAL; DESCRIPTION OF LOCATION OF SUBDIVISION WITH RESPECT TO THE ETJ OF A MUNICIPALITY AND DESIGNATE THE PRECINCT THE PROJECTS SITUATED; H.C.D.D. CERTIFICATION; IRRIGATION DISTRICT CERTIFICATION OR APPROVAL; HCHD CERTIFICATION; REVISION NOTES.

2 SHEETS
WATER DISTRIBUTION AND SANITARY SEWER (OSSF) MAP, ENGINEERING REPORT (ENGLISH AND SPANISH VERSION), INCLUDING DESCRIPTION OF WATER AND WASTE WATER (OSSF) AND ENGINEER'S CERTIFICATION (ENGLISH AND SPANISH VERSION); SAMPLE OF LOG BORE FOR OSSF SYSTEM. TYPICAL WATER SERVICE CONNECTION; SUB-DIVIDER CERTIFICATION AND STATEMENT.

3 SHEETS
DRAINAGE REPORT INCLUDING DESCRIPTION OF DRAINAGE AND HOW IT WILL SERVE THIS DEVELOPMENT; MAP OF TOPOGRAPHY AND DRAINAGE, AND ENGINEER'S CERTIFICATION; REVISION NOTES.



THE HILLS AT SHARY



Legend

- Proposed Sewer Line
- Proposed Manholes
- Existing Sewer-Line
- Existing Manhole
- Proposed Clean-Out
- Proposed Fire Hydrant
- Proposed Lift-Stations
- Proposed Future 6 Mile Line
- Proposed Force Main
- Proposed Water Line
- Existing Waterline
- Proposed Re-Use Line
- Existing Fire Hydrants
- Proposed Area



AGENDA ITEM

4.d.

PUBLIC UTILITY BOARD

DATE SUBMITTED

02/09/2022

MEETING DATE

2/15/2022

1. Agenda Item: Discussion and Approval of Taylor Creek Villages Subdivision.

**2. Party Making Request:
Rafael Balderas Jr.**

3. Nature of Request: Request of MPU Board approval from the developer of the proposed subdivision.

4. Budgeted:

Bid Amount:

Budgeted Amount:

Under Budget:

Over Budget:

Amount Remaining:

5. Reimbursement: N/A.

6. Routing:

Rafael Balderas Jr.

Created/Initiated - 2/9/2022

7. Staff's Recommendation: Staff recommends approval of the proposed subdivision with the conditions set forth.

8. City Attorney: Approve. IJT

9. MPU General Manager: Approved - MAV

10. Director of Finance for Utilities: Approved - MDC

Memo

TO: Marco A. Vega, P.E., General Manager
J.J. Rodriguez, Asst. General Manager

THRU: Carlos Gonzalez, P.E., Utility Engineer

FROM: Rafael A. Balderas, E.I.T., Asst. to the Utility Engineer

DATE: February 8, 2022

SUBJECT: Taylor Creek Villages Subdivision; Consideration & Approval of Subdivision

This property is located on the north side of Nolana Avenue and on the east side of Taylor Road. It is located within the McAllen City Limits and is being proposed as R-1 residential. The tract consists of 15.639 acres and will be 76 lots for single family homes.

The subdivision application was originally filed with the City on March 10, 2021 and has received preliminary P&Z approval on April 6, 2021. The information required from the developer's engineer for this agenda was received on February 2, 2022.

Utility plan/availability is described as follows:

1. **Water Service:** The property falls within the Sharyland Water Supply Corporation Water CCN. The applicant will need to follow the City's standard subdivision requirements as they pertain to fire protection. Coordination with the fire department will be needed for fire hydrant placement.
2. **Sewer Service:** The applicant is proposing to connect to an existing 12-inch sewer line that is located at the north-west corner of Nolana Avenue and Bentsen Road. An extension will be constructed to the property, where an 8-inch sewer line will service the property. Staff recommends that the sewer line go to-and-through the property.
3. This property does not fall within any utility reimbursement service areas.

Staff recommends MPUB approval of the subdivision application as proposed subject to the following: 1.) Dedication of a utility easement, possibly along the perimeter of the property, and where the main utility lines will be installed; 2.) Installation of the proposed public utility infrastructure be constructed as proposed; and 3.) Execution of a Waterline Access Agreement between the Developer, SWSC, and the City.

I'll be available for further discussion/questions at the MPUB meeting.



TREVINO
ENGINEERING
Firm Registration # F-7906

February 01, 2022

City of McAllen
McAllen Public Utilities
1300 Houston Ave.
McAllen, Texas 78501

Re: Sewer Narrative of Taylor Creek Villages Subdivision, McAllen Texas

A 15.639-acre tract of land out of Lot 317, Block 2, John H. Shary Subdivision, map or plat thereof recorded in Volume 1, Page 17, Map Records of Hidalgo County, Texas, being located on the East side of Taylor Road and approximately 635.00 feet North of Nolana Ave.

Sanitary Sewer.

The City of McAllen has an existing sanitary sewer manhole located on the west side of Bentsen Rd. at approximately 865.00 ft. north of Nolana Ave.

A new 10-inch diameter sanitary sewer line is proposed to be run south approximately 395.00 ft. up to the north side of Nolana Ave. from the southeast corner of the proposed subdivision. A new 10-inch sanitary sewer line will be run east along the north side of Nolana Ave. up to Bentsen Rd. approximately 1185.00 ft. Furthermore, a new 10-inch diameter sanitary sewer line is proposed to run approximately 865.00 ft. north along the west side of Bentsen Rd. up to the existing City of McAllen sanitary sewer manhole.

The proposed new 10-inch lines will be connected with a total of seven (7) manholes.

See attached plans for reference.

Should you have any questions, feel free to contact me at my office.

Sincerely,

TREVINO ENGINEERING

Iden I. Trevino, P.E.



02/01/2022

REIMBURSEMENT WAIVER

STATE OF TEXAS X

COUNTY OF HIDALGO X

THIS CERTIFICATE, issued by the McAllen Public Utility (MPUB), as authorized by such Board of Trustees, hereinafter called the MPUB to URBAN CITY DEVELOPERS hereinafter called the DEVELOPER.

1. The DEVELOPER is the developer of the following described property:

TAYLOR CREEK VILLAGES SUBDIVISION
(Subdivision Name) and proposes to construct Utility Improvements as shown on a plan

designed by TREVINO ENGINEERING dated 01/31/2022, hereinafter called the
(Engineering Firm)

IMPROVEMENTS, as approved by the McAllen Public Utility Board on 02/15/2022.
(Approval date)

2. By the execution of this certificate, the Developer hereby waives and disclaims the right to obtain reimbursement from Intervening Developers in accordance with the MPUB's Reimbursement Policy.

ISSUED in triplicate originals this _____ day of _____, 202__.

CITY OF McALLEN BY THE
McALLEN PUBLIC UTILITY

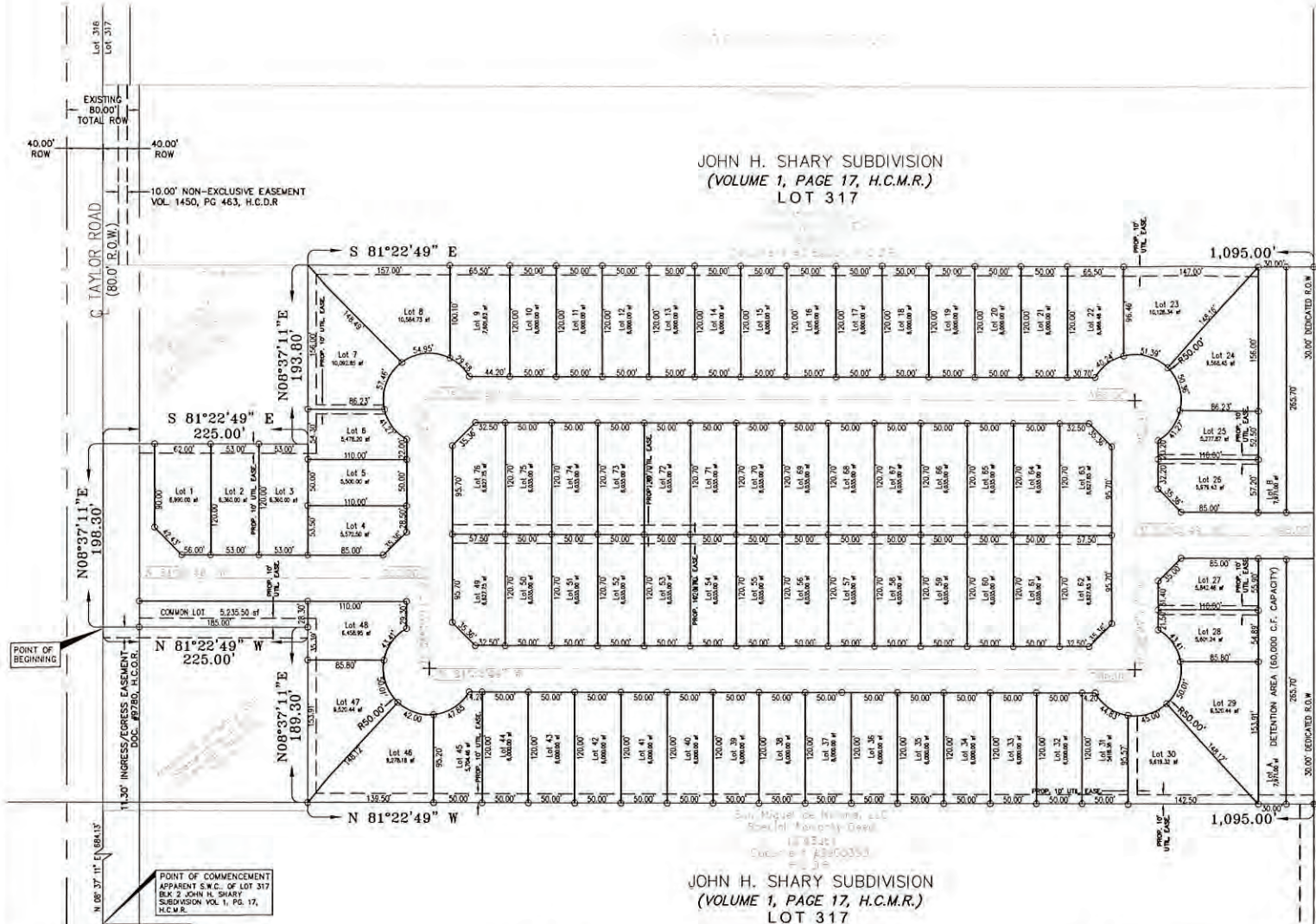
BY: _____
Mark Vega, P.E.
General Manager, McAllen Public Utility
Post Office Box 220
McAllen, Texas 78505-0220
(956) 681-1630

ATTEST:

Board Secretary

DEVELOPER

BY: _____
Address: _____



LEGEND
○ SET IRON ROD
⊗ FOUND 1/2" IRON PIPE

METES AND BOUNDS

A 15.639-ACRE TRACT OF LAND OUT OF LOT 317, BLOCK 2, JOHN H. SHARY SUBDIVISION, MAP OR PLAT THEREOF RECORDED IN VOLUME 1, PAGE 17, MAP RECORDS OF HIDALGO COUNTY, TEXAS, BEING LOCATED ON THE EAST SIDE OF TAYLOR ROAD AND APPROXIMATELY 635.00 FEET NORTH OF NOLANA LOOP, IS MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

THE POINT OF COMMENCEMENT BEING AT A POINT ON THE APPARENT EXISTING CENTERLINE OF SAID TAYLOR ROAD FOR THE APPARENT SOUTHWEST CORNER OF SAID LOT 317; THENCE, NORTH 08 DEGREES 37 MINUTES 11 SECONDS EAST, WITH THE SAID TAYLOR ROAD EXISTING CENTERLINE AND THE APPARENT WEST LOT LINE OF SAID LOT 317, A DISTANCE OF 684.13 FEET TO A POINT FOR THE APPARENT NORTHWEST CORNER OF A 1.0-ACRE TRACT VESTED IN FRANCISCO G. AND PAULA J. LARA (VOLUME 836, PAGE 857, DEED RECORDS, HIDALGO COUNTY, TEXAS); AND WESTERLY, SOUTHWEST CORNER OF SAID 15.639-ACRE TRACT AND FOR THE POINT OF BEGINNING OF SAID 15.639-ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, NORTH 08 DEGREES 37 MINUTES 11 SECONDS EAST, WITH THE SAID TAYLOR ROAD EXISTING CENTERLINE, AND WEST LOT LINE OF LOT 317 AND THE APPARENT WESTERLY LOT LINE OF SAID 15.639-ACRE TRACT, A DISTANCE OF 198.30 FEET TO A POINT FOR THE SOUTHWEST CORNER OF A 1.0-ACRE TRACT VESTED IN SERGIO ALBERTO AND ANDREA L. COOPER (DOCUMENT #305385, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS); AND THE WESTERLY LOT LINE OF SAID 15.639-ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, SOUTH 81 DEGREES 22 MINUTES 49 SECONDS EAST, PARALLEL TO THE APPARENT SOUTH LOT LINE OF SAID LOT 317, AND WITH THE APPARENT ADJOINING SOUTH LOT LINE OF SAID 1.0-ACRE TRACT VESTED IN SERGIO ALBERTO AND ANDREA L. COOPER AND THE WESTERLY LOT LINE OF SAID 15.639-ACRE TRACT, A DISTANCE OF 40.00 FEET PASS A HALF-INCH IRON PIPE FOUND ON THE APPARENT EXISTING EAST RIGHT-OF-WAY LINE OF TAYLOR ROAD, CONTINUING FOR A TOTAL DISTANCE OF 225.00 FEET TO AN HALF-INCH IRON PIPE FOUND FOR THE APPARENT SOUTHEAST CORNER OF SAID 1.0-ACRE TRACT VESTED IN SERGIO ALBERTO AND ANDREA L. COOPER AND AN INTERNAL CORNER OF SAID 15.639-ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, NORTH 08 DEGREES 37 MINUTES 11 SECONDS EAST, PARALLEL TO THE SAID WEST LOT LINE OF LOT 317, AND WITH THE APPARENT ADJOINING EAST LOT LINE OF SAID 1.0-ACRE TRACT VESTED IN SERGIO ALBERTO AND ANDREA L. COOPER AND THE WESTERLY LOT LINE OF SAID 15.639-ACRE TRACT, A DISTANCE OF 193.80 FEET TO A HALF-INCH IRON PIPE FOUND FOR THE NORTHEAST CORNER OF SAID 1.0-ACRE TRACT VESTED IN SERGIO ALBERTO AND ANDREA L. COOPER AND THE WESTERLY LOT LINE OF SAID 15.639-ACRE TRACT OF LAND HEREIN DESCRIBED;

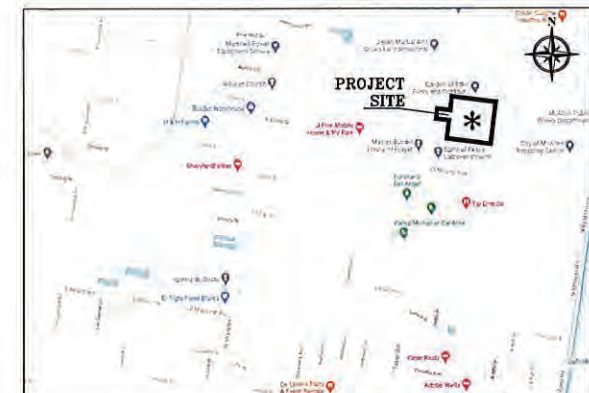
THENCE, SOUTH 81 DEGREES 22 MINUTES 49 SECONDS EAST, PARALLEL TO THE SAID SOUTH LOT LINE OF LOT 317, AND WITH THE APPARENT ADJOINING SAID SOUTH LOT LINE OF SAID 1.0-ACRE TRACT VESTED IN SERGIO ALBERTO AND ANDREA L. COOPER AND THE WESTERLY LOT LINE OF SAID 15.639-ACRE TRACT OF LAND, A DISTANCE OF 1,095.00 FEET TO A NO. 4 REBAR SET WITH PLASTIC CAP STAMPED 2791 ON THE APPARENT WEST LINE OF A 2.14-ACRE TRACT VESTED IN CITY OF MCALLEN (VOLUME 2931, PAGE 166, DEED RECORDS, HIDALGO COUNTY, TEXAS) FOR THE APPARENT NORTHEAST CORNER OF SAID 15.639-ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, SOUTH 08 DEGREES 37 MINUTES 11 SECONDS WEST, WITH THE APPARENT ADJOINING WEST LOT LINE OF SAID 2.14-ACRE TRACT VESTED IN CITY OF MCALLEN AND THE APPARENT EAST LOT LINE OF SAID LOT 317 AND OF SAID 15.639-ACRE TRACT, A DISTANCE OF 581.40 FEET TO A HALF-INCH IRON PIPE FOUND FOR THE APPARENT SOUTHWEST CORNER OF SAID 15.639-ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, NORTH 81 DEGREES 22 MINUTES 49 SECONDS WEST, PARALLEL TO THE SAID SOUTH LOT LINE OF LOT 317, AND WITH THE APPARENT ADJOINING SAID SOUTH LOT LINE OF SAID 15.639-ACRE TRACT OF LAND, A DISTANCE OF 1,095.00 FEET TO A NO. 4 REBAR SET WITH PLASTIC CAP STAMPED 2791 FOR THE APPARENT SOUTHWEST CORNER OF SAID 1.0-ACRE TRACT VESTED IN FRANCISCO G. AND PAULA J. LARA AND FOR THE SOUTHWEST CORNER OF SAID 15.639-ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, NORTH 08 DEGREES 37 MINUTES 11 SECONDS EAST, PARALLEL TO THE SAID WEST LOT LINE OF LOT 317, AND WITH THE APPARENT ADJOINING EAST LOT LINE OF SAID 1.0-ACRE TRACT VESTED IN FRANCISCO G. AND PAULA J. LARA AND THE SOUTHWEST CORNER OF SAID 15.639-ACRE TRACT, A DISTANCE OF 189.30 FEET TO A NO. 4 REBAR SET WITH PLASTIC CAP STAMPED 2791 FOR THE APPARENT NORTHEAST CORNER OF SAID 1.0-ACRE TRACT VESTED IN FRANCISCO G. AND PAULA J. LARA AND AN INTERNAL CORNER OF SAID 15.639-ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, NORTH 81 DEGREES 22 MINUTES 49 SECONDS WEST, PARALLEL TO THE SAID SOUTH LOT LINE OF LOT 317, AND WITH THE APPARENT ADJOINING NORTH LOT LINE OF SAID 1.0-ACRE TRACT VESTED IN FRANCISCO G. AND PAULA J. LARA, AND THE NORTHERNMOST SOUTH LOT LINE OF SAID 15.639-ACRE TRACT, A DISTANCE OF 185.00 FEET PASS A NO. 4 REBAR SET ON THE SAID EXISTING EAST RIGHT-OF-WAY LINE OF TAYLOR ROAD, AND CONTINUING FOR A TOTAL DISTANCE OF 225.00 FEET TO A POINT ON THE SAID TAYLOR ROAD EXISTING CENTERLINE AND THE SAID WEST LOT LINE OF LOT 317 FOR THE NORTHEAST CORNER OF SAID 1.0-ACRE TRACT VESTED IN FRANCISCO G. AND PAULA J. LARA AND THE WESTERLY LOT LINE OF SAID 15.639-ACRE TRACT OF LAND HEREIN DESCRIBED, AND ALSO BEING THE POINT OF BEGINNING, CONTAINING A GROSS OF 15.639 ACRES OF LAND, OF WHICH 0.182-OF AN ACRE LIES IN EXISTING ROAD RIGHT-OF-WAY, LEAVING A NET OF 15.457 ACRES OF LAND, MORE OR LESS.



VICINITY MAP
NOT TO SCALE

GENERAL NOTES

1. FLOOD INSURANCE RATING ZONE: "C"
ZONE C : AREAS OF MINIMAL FLOODING (NO SHADING)
NO FIRM MAP AVAILABLE
COMMUNITY PANEL NO. 4803334 0400 C
MAP REVISED: NOVEMBER 16, 1982
2. BENCHMARK ELEVATION =
3. MINIMUM BUILDING SETBACKS:
FRONT: 20 FEET
SIDE: 10 OR GREATER FOR EASEMENT
REAR: 10 OR GREATER FOR EASEMENT
SIDE CORNER: 20 OR GREATER FOR EASEMENT
GARAGE: 18 FEET EXCEPT WHERE GREATER SETBACK IS REQUIRED.
4. A TOTAL OF 1.278 ACRE FEET (55,676 CUBIC FEET) OF STORM WATER DETENTION IS REQUIRED FOR THIS SUBDIVISION. THIS DETENTION SHALL BE ACCOMPLISHED WITHIN DRAINAGE DITCH ALONG THE EAST SIDE OF THE PROPERTY THAT HAS A CAPACITY OF 1.241 ACRE FEET (54,080 CUBIC FEET)
5. ALL LOT CORNER MARKED WITH A 1/2-INCH DIAMETER ROD
6. A 4' SIDEWALK IS REQUIRED ALONG TAYLOR ROAD AND BOTH SIDES OF INTERIOR STREETS. SIDEWALKS MUST COMPLY WITH T.A.S. AND A.D.A.
7. ALL UTILITIES IN THIS SUBDIVISION SHALL BE UNDERGROUND.
8. OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR MAINTENANCE OF DETENTION PONDS.
9. MAINTENANCE OF THE STREETS IS THE RESPONSIBILITY OF THE OWNER/DEVELOPER OR HOMEOWNER'S ASSOCIATION.
10. THE CITY OF MCALLEN SHALL HAVE A 15' X 15' CORNER CLIP EASEMENT AT ALL INTERIOR STREET INTERSECTIONS.
11. SHOULD ANY ENTITIES HAVING AUTHORITY OVER THE REQUIRED EASEMENTS DEDICATED HEREIN NEED TO REPAIR, REPLACE, INSTALL, OR IN ANY WAY REQUIRE EXCAVATION ACCESS TO THE LINES THEREIN, THAT ENTITY SHALL HAVE THE RIGHT TO ACCESS THE EASEMENT WHICH MAY CAUSE INCIDENTAL DAMAGE TO PRIVATE IMPROVEMENTS INCLUDING BUT NOT LIMITED TO FENCES, WALLS, SLABS, LANDSCAPING AND PRIVATE IRRIGATION SYSTEMS. OWNER(S) OF PROPERTIES SHALL HOLD HARMLESS AND INDEMNIFY ANY SUCH ENTITY FROM THE DAMAGES AND/OR REPLACEMENT COSTS CAUSED BY NEEDED WORK.
12. ALL IRRIGATION DISTRICT EASEMENTS, IF SHOWN, ARE EXCLUSIVE TO UNITED IRRIGATION DISTRICT, AND THE DISTRICT ALLOWS NO OTHER UTILITIES OR OUTSIDE USE WITHOUT IT EXPRESS WRITTEN APPROVAL.
13. NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CROSS ABOVE OR BELOW GROUND ANY IRRIGATION DISTRICT EASEMENT OR RIGHT OF WAY WITH LINES, POLES, OPEN DITCHES, OR OTHER USE WITHOUT FIRST OBTAINING A CROSSING PERMIT FROM UNITED IRRIGATION DISTRICT.
14. NO PERMANENT STRUCTURE, UTILITY POLE, HOLE, WALL, FENCE, DRIVEWAY OR ROAD WILL BE ALLOWED TO BE CONSTRUCTED OR EXIST ON ANY DISTRICT EASEMENT OR RIGHT OF WAY WITHOUT WRITTEN APPROVAL BY IRRIGATION DISTRICT. ANY UNAUTHORIZED STRUCTURE WITHIN THE EASEMENT BOUNDARY IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATORS EXPENSE.
15. NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CONNECT TO ANY DISTRICT FACILITY WITHOUT FIRST OBTAINING A PERMIT FROM IRRIGATION DISTRICT. ANY CONNECTION NOT AUTHORIZED BY THE DISTRICT IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATORS EXPENSE.
16. 6 FT. OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, AND INDUSTRIAL ZONE/USES.
17. 8 FT. MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONE/USES.
18. COMMON AREAS, ANY PRIVATE STREETS/DRIVES, DETENTION AREAS/PONDS, AND/OR GATES MUST BE MAINTAINED BY THE LOT OWNER AND NOT THE CITY OF MCALLEN.
19. DEVELOPER/HOMEOWNER'S ASSOCIATION/OWNER, THEIR SUCCESSORS AND ASSIGNEES, AND NOT THE CITY OF MCALLEN SHALL BE RESPONSIBLE FOR COMPLIANCE OF INSTALLATION AND MAINTENANCE AND OTHER REQUIREMENTS PER SECTION 134-168 OF THE SUBDIVISION ORDINANCE, INCLUDING BUT NOT LIMITED TO COMMON AREAS AND ITS PRIVATE STREETS
20. SITE PLAN MUST BE APPROVED BY THE PLANNING AND OTHER DEVELOPMENT DEPARTMENTS PRIOR TO BUILDING PERMIT ISSUANCE.

**STATE OF TEXAS
COUNTY OF HIDALGO**

WE, JIMMY KNOX JONES AND MYRTLE ERNESTINE JONES, THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE **TAYLOR CREEK VILLAGES SUBDIVISION**, AN ADDITION TO THE CITY OF MCALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE THE FEE TITLE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, SEWER LINES, WATER COURSES, STORM SEWERS, FIRE HYDRANTS, AND PUBLIC PLACES WHICH I WILL CAUSE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF ALTON, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF MCALLEN.

JIMMY KNOX JONES
OWNER
MYRTLE ERNESTINE JONES
OWNER

**STATE OF TEXAS
COUNTY OF HIDALGO**

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, ON THIS DAY PERSONALLY APPEARED **JIMMY KNOX JONES AND MYRTLE ERNESTINE JONES** KNOWN TO ME TO BE THE PERSON(S) WHOSE NAME(S) ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE ____ DAY OF _____, 20__.

NOTARY PUBLIC, HIDALGO COUNTY, TEXAS
MY COMMISSION EXPIRES ON: _____

HIDALGO COUNTY DRAINAGE DISTRICT No. 1

HIDALGO COUNTY DRAINAGE DISTRICT No. 1, HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THE SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 42.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE SYSTEM DESCRIBED IS APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THESE DETERMINATIONS.

RAUL SESIN, P.E., CFM
GENERAL MANAGER
HIDALGO COUNTY DRAINAGE DISTRICT No.1

**STATE OF TEXAS
COUNTY OF HIDALGO**

I, HOMERO LUIS GUTIERREZ, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

HOMERO LUIS GUTIERREZ RPLS NO. 2791
DATE _____



**STATE OF TEXAS
COUNTY OF HIDALGO**

I, THE UNDERSIGNED, **IDEN I. TREVIÑO**, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

IDEN I. TREVIÑO, P.E.
NO. 92036
DATE _____



UNITED IRRIGATION DISTRICT

THIS PLAT IS HEREBY APPROVED BY THE UNITED IRRIGATION DISTRICT ON THIS THE ____ DAY OF _____, 20__.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION TREES, FENCES AND BUILDINGS) SHALL BE PLACED UPON UNITED IRRIGATION DISTRICT RIGHT OF WAYS OR EASEMENTS. APPROVAL OF THIS PLAT DOES NOT RELEASE ANY RIGHTS THAT THE DISTRICT MAY HAVE WHETHER SHOWN OR NOT.

PRESIDENT
UNITED IRRIGATION DISTRICT
DATE _____

CITY OF MCALLEN PLANNING & ZONING

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF MCALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING COMMISSION
DATE _____

CITY OF MCALLEN MAYOR

I, THE UNDERSIGNED, MAYOR OF THE CITY OF MCALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF MCALLEN
DATE _____

CITY SECRETARY
DATE _____

COUNTY CLERK'S RECORDED CERTIFICATE

FILED FOR RECORD IN HIDALGO COUNTY
ATRIO GUANZULU, J.
HIDALGO COUNTY CLERK

ON: _____ AT _____ A.M./P.M.
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY: _____ DEPUTY CLERK

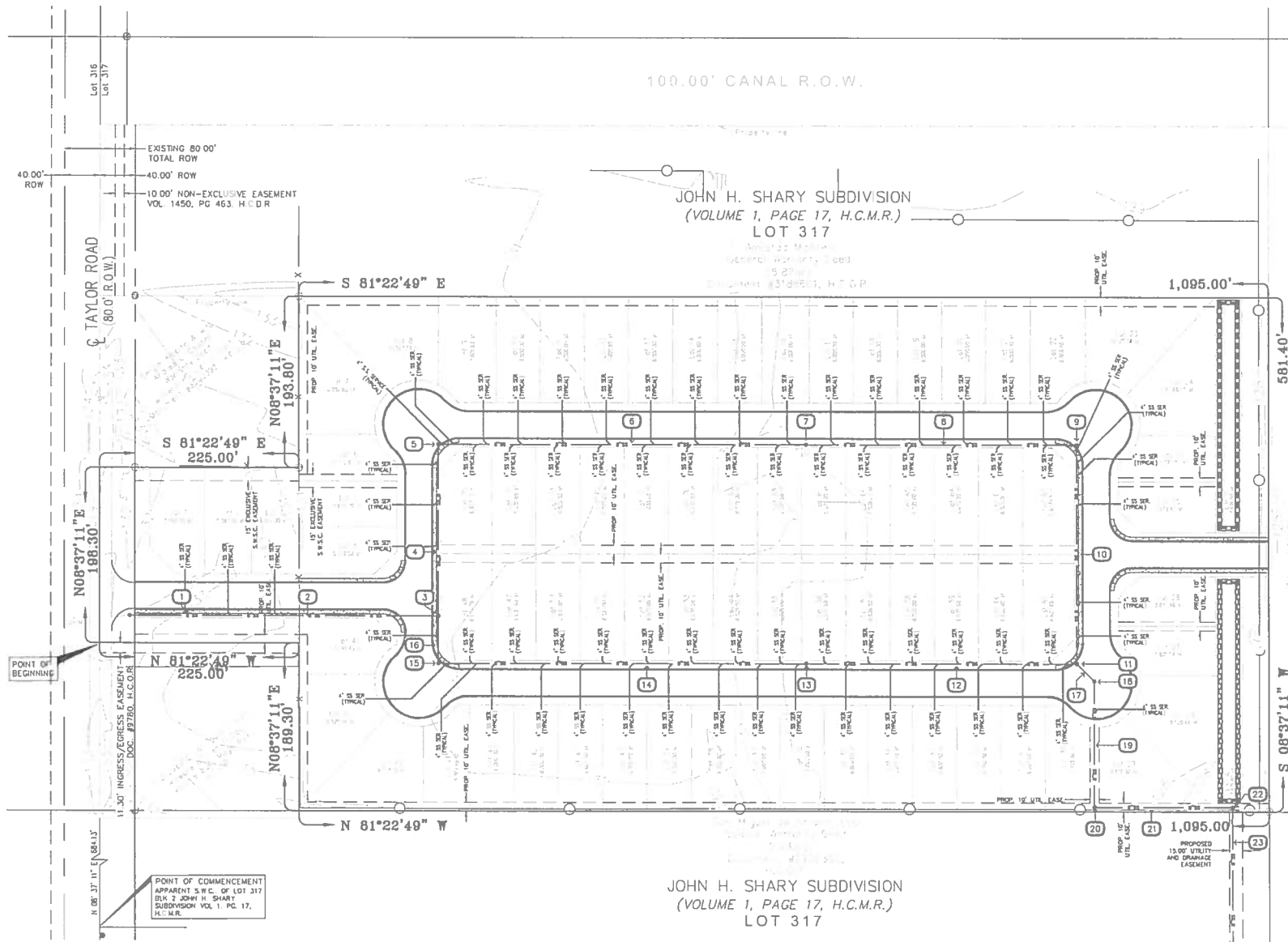
**TAYLOR CREEK VILLAGES
SUBDIVISION**

DATE OF PREPARATION: August 10, 2021

TREVIÑO ENGINEERING
FIRM No. F-7906
TEL No. (956) 283-8847 200 S. 10th St. Ste. 1303
McAllen, Texas 78501
ident@trevinoengineering.com

PRINCIPAL CONTACTS:

NAME	ADDRESS	CITY & ZIP	PHONE
OWNER: JIMMY & MYRTLE ERNESTINE JONES	P.O. BOX 3406	McALLEN, TEXAS 78502	
ENGINEER: IDEN I. TREVIÑO, P.E.	200 S. 10TH ST. SUITE 1303	McALLEN, TEXAS 78501	(956) 283-8847
SURVEYOR: HOMERO LUIS GUTIERREZ, RPLS	P.O. BOX 548	McALLEN, TEXAS 78505	(956) 369-0988



UTILITY PLAN - SANITARY SEWER KEYNOTES

- PROPOSED 48" SANITARY SEWER MANHOLE #1
APPROX. TOP = 132.85
FL (E) = 128.20
- PROPOSED 8" SDR 26 ϕ 0.34% ~ 275.00 LF
- PROPOSED 48" SANITARY SEWER MANHOLE #2
TOP = 132.35
FL (N) = 127.26
FL (S) = 127.26
- PROPOSED 8" SDR 26 ϕ 0.34% ~ 189.90 LF
- PROPOSED 48" SANITARY SEWER MANHOLE #3
TOP = 131.70
FL (E) = 126.61
FL (S) = 126.61
- PROPOSED 8" SDR 26 ϕ 0.34% ~ 411.50 LF
- PROPOSED 48" SANITARY SEWER MANHOLE #4
TOP = 131.70
FL (E) = 125.21
FL (W) = 125.21
- PROPOSED 8" SDR 26 ϕ 0.34% ~ 301.50 LF
- PROPOSED 48" SANITARY SEWER MANHOLE #5
TOP = 129.75
FL (E) = 124.19
FL (S) = 124.19
- PROPOSED 8" SDR 26 ϕ 0.34% ~ 243.40 LF
- PROPOSED 48" SANITARY SEWER MANHOLE #6
TOP = 129.75
FL (N) = 123.35
FL (W) = 124.64
FL (S) = 123.00
- PROPOSED 8" SDR 26 ϕ 0.34% ~ 301.50 LF
- PROPOSED 48" SANITARY SEWER MANHOLE #7
TOP = 131.70
FL (E) = 125.67
FL (W) = 125.67
- PROPOSED 8" SDR 26 ϕ 0.34% ~ 411.50 LF
- PROPOSED 48" SANITARY SEWER MANHOLE #8
TOP = 131.70
FL (N) = 127.07
FL (W) = 127.07
- PROPOSED 8" SDR 26 ϕ 0.34% ~ 49.60 LF
- PROPOSED 48" SANITARY SEWER MANHOLE #9
TOP = 129.75
FL (N) = 122.92
FL (S) = 122.92
- PROPOSED 8" SDR 26 ϕ 0.34% ~ 138.50 LF
- PROPOSED 48" SANITARY SEWER MANHOLE #10
TOP = 130.00
FL (N) = 122.45
FL (E) = 122.45
- PROPOSED 8" SDR 26 ϕ 0.34% ~ 156.50 LF
- PROPOSED 48" SANITARY SEWER MANHOLE #11
TOP = 129.00
FL (S) = 121.92
FL (W) = 121.92
- PROPOSED 8" SDR 26 ϕ 0.33% SANITARY SEWER COLLECTION LINE INSIDE OFFSITE EASEMENT IS PART OF "OFFSITE IMPROVEMENTS OF TAYLOR CREEK VILLAGES SUBDIVISION. (NOT PART OF THIS SET)

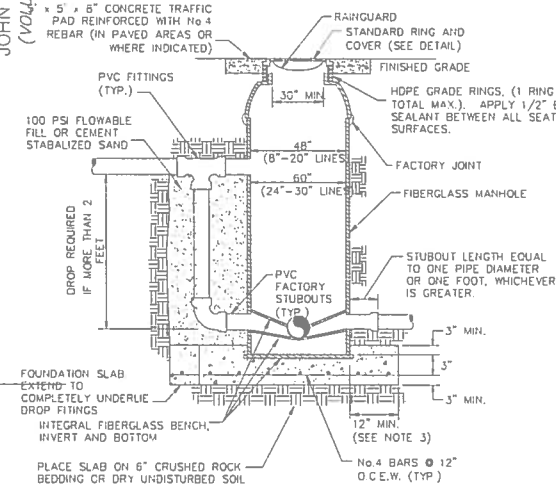


SCALE: 1"=80'

LEGEND

- SET IRON ROD
- FOUND 1/2" IRON PIPE
- EXISTING TELEPHONE PEDESTAL
- EXISTING WATER VALVE MARKER
- EXISTING WATER VALVE
- EXISTING WATER METER
- EXISTING 12" IRRIGATION STAND PIPE
- EXISTING 12" IRRIGATION GATE VALVE
- EXISTING GAS MARKER
- EXISTING POWER POLE
- EXISTING MAILBOX
- EXISTING 4" WATER LINE

JOHN H. SHARY SUBDIVISION
(VOLUME 1, PAGE 17, H.C.M.R.)
LOT 318

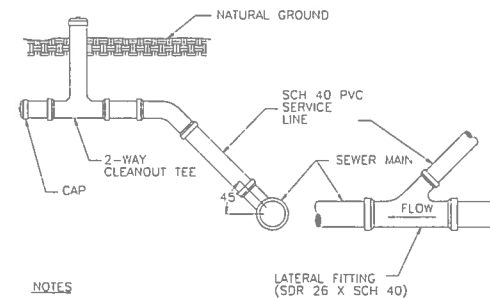


NOTES

- INSTALL IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- BACKFILL SHALL BE SAND COMPACTED TO 95% STANDARD PROCTOR.
- BASE SLAB SHALL BE 4" FT. LARGER THAN MANHOLE DIAMETER WHERE SOIL BEARING CAPACITY < 2000 PSF, WATER TABLE < 5 FT., OR DEPTH > 20 FT. SLAB SHALL BE DESIGNED TO PREVENT FLOTATION OF MANHOLE.
- COAT ALL INTERNAL CEMENTitious AND METALLIC SURFACES WITH COAL TAR EPOXY.
- OUTLET STUBOUT SHALL BE SPIGOT END. INLET STUBOUTS SHALL BE BELL END EXCEPT FOR DROP CONNECTIONS.

PRECAST SANITARY SEWER COLLECTION MANHOLE

Not to Scale

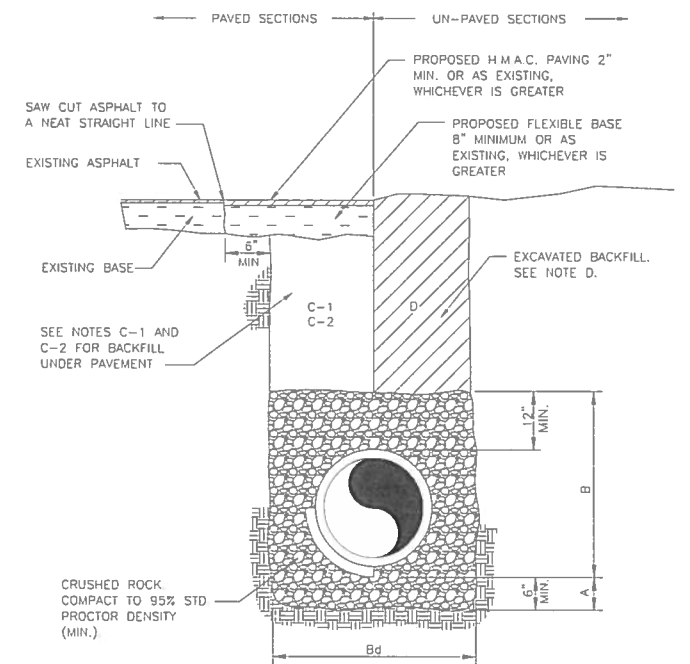


NOTES

- INDIVIDUAL SERVICE LATERALS TO BE PROVIDED TO EACH LOT.
- SINGLE FAMILY SERVICE SHALL BE 4" MIN. MULTI-FAMILY, COMMERCIAL, AND INDUSTRIAL SERVICE SHALL BE 6" OR GREATER AS REQUIRED.

STANDARD SEWER SERVICE CONNECTION DETAIL

Not to Scale



GENERAL NOTES:

- CRUSHED ROCK BEDDING PLACED, HAND LEVELED, AND COMPACTED BEFORE PIPE IS LAID, UP TO BOTTOM OF PIPE (MIN. THICKNESS = 6").
- CRUSHED ROCK BACKFILL PLACED AND COMPACTED AFTER PIPE IS LAID, FROM BOTTOM OF PIPE TO 12" ABOVE THE TOP OF PIPE. WORK IN UNDER PIPE HAUNCHES AND COMPACT BY HAND TO SPRING LINE. USE VIBRATORY-TYPE COMPACTORS FOR LIFTS ABOVE THE SPRING LINE. MAXIMUM 6" LIFTS.
- MINIMUM TRENCH WIDTH: PIPE O.D. + 16" (FOR 16" PIPE AND SMALLER), PIPE O.D. X 1.25 + 12" (FOR 18" PIPE AND LARGER).
- (CITY STREETS, PARKING AREA, AND DRIVEWAYS) SELECT EXCAVATED BACKFILL MECHANICALLY COMPACTED TO 95% STANDARD PROCTOR DENSITY IN 6" MAX. LIFTS.
- (STATE MAINTAINED ROADWAY) SAND/CEMENT STABILIZED BACKFILL WITH 7% PORTLAND CEMENT COMPACTED TO 95% STANDARD PROCTOR DENSITY.
- EXCAVATED EARTH BACKFILL MECHANICALLY COMPACTED IN 12" MAX. LIFTS. MINIMUM STANDARD PROCTOR DENSITY: 90% OUTSIDE RIGHT OF WAY; 95% INSIDE RIGHT OF WAY.

EMBEDMENT SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM D 2321. EMBEDMENT MATERIAL SHALL BE CLASS 1A (CRUSHED ROCK) OR 1B (CRUSHED ROCK-SAND MIXTURE) WITH LESS THAN 50% PASSING A No. 4 SIEVE. MAXIMUM $\frac{3}{4}$ " SIZE FOR PIPE SIZE 15". GREATER THAN 90% OF CRUSHED ROCK SHALL HAVE AT LEAST THREE BROKEN FACES. NO MORE THAN 2% UNBROKEN FRACTION ALLOWED.

IN SATURATED OR UNSTABLE SOILS, EMBEDMENT SHALL BE CLASS 1B ONLY (SEE SPECIFICATIONS FOR GRADATION REQUIREMENTS).

WHERE THIS STANDARD CONFLICTS WITH THE RECOMMENDATION OF ANY GEOTECHNICAL REPORT, OBTAIN WRITTEN CLARIFICATION FROM THE UTILITY ENGINEER PRIOR TO CONSTRUCTION.

FOUNDATION PREPARATION USING COBBLES, GRAVEL, CEMENT STABILIZATION, OR OTHER METHODS AS APPROVED BY THE ENGINEER SHALL BE REQUIRED WHEN TRENCH BOTTOM IS UNSTABLE.

BACKFILLING AT STRUCTURES SHALL BE PLACED IN UNIFORM LAYERS, AND COMPACTED TO 95% STANDARD PROCTOR DENSITY IN 6" MAXIMUM LIFTS. STRUCTURE BACKFILL MATERIAL SHALL BE SAND.

TYPICAL SANITARY SEWER PIPE BEDDING DETAIL

Not to Scale

TAYLOR CREEK VILLAGES SUBDIVISION

SANITARY SEWER LAYOUT

DATE OF PREPARATION: NOVEMBER 17, 2021



TREVIÑO ENGINEERING
FIRM No. F-7906

TEL No. (956) 283-8847

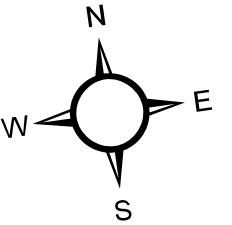
200 S. 10th St. Ste. 1303

McAllen, Texas 78501

ident@trevinoengineering.com

NO.	SHEET	REVISION	DATE	APPROVED	PRINCIPAL CONTACTS:
					NAME
					OWNER: JIMMY & MYRTLE ERNESTINE JONES
					ADDRESS: P.O. BOX 3406
					CITY & ZIP: McALLEN, TEXAS 78502
					PHONE: (956) 283-8847
					ENGINEER: IDENT I. TREVIÑO, P.E.
					200 S. 10TH ST. SUITE 1303
					McALLEN, TEXAS 78501
					(956) 369-0988
					SURVEYOR: HOMERO LUIS GUTIERREZ, RPLS
					P.O. BOX 548
					McALLEN, TEXAS 78505

TAYLOR CREEK



- Legend**
- Proposed Sewer Line
 - Proposed Manholes
 - Existing Sewer-Line
 - Existing Manhole
 - Proposed Clean-Out
 - Proposed Fire Hydrant
 - Proposed Water Line
 - Existing Fire Hydrants
 - ▨ Proposed Area
 - Water CCN



AGENDA ITEM

4.e.

PUBLIC UTILITY BOARD

DATE SUBMITTED

02/10/2022

MEETING DATE

2/15/2022

1. Agenda Item: Discussion and Approval of the Preliminary Reimbursement Certificate for Bentsen Park Subdivision.
2. Party Making Request:
Rafael Balderas Jr.
3. Nature of Request: Request of MPU Board approval for a preliminary reimbursement certificate from the developer of the proposed subdivision.
4. Budgeted:

Bid Amount:	_____	Budgeted Amount:	_____
Under Budget:	_____	Over Budget:	_____
		Amount Remaining:	_____
5. Reimbursement: N/A.
6. Routing:
Rafael Balderas Jr. Created/Initiated - 2/10/2022
7. Staff's Recommendation: Staff recommends approval of the requested preliminary reimbursement certificate.
8. City Attorney: Approved. IJT
9. MPU General Manager: Approved - MAV
10. Director of Finance for Utilities: Approved - MDC

Memo

TO: Marco A. Vega, P.E., General Manager
J.J. Rodriguez, Asst. General Manager

THRU: Carlos Gonzalez, P.E., Utility Engineer

FROM: Rafael A. Balderas, E.I.T., Asst. to the Utility Engineer

DATE: February 8, 2022

SUBJECT: Request of a Preliminary Reimbursement Certificate for Bentsen Park Subdivision

The developer of the Bentsen Park Subdivision is requesting a Preliminary Reimbursement Certificate for the proposed water improvements being done for the subdivision. The subdivision received approval from the MPU Board on April 14, 2020. It is located on the east side of Bentsen Road and approximately 1,600 feet north of Buddy Owens Boulevard. The property is a 7.54-acre tract and is zoned R-1 for single family homes.

The subject water improvements consist of extending a 12-inch waterline approximately 891 LF offsite, along with 100 feet of 20-inch casing when crossing Bentsen Road.

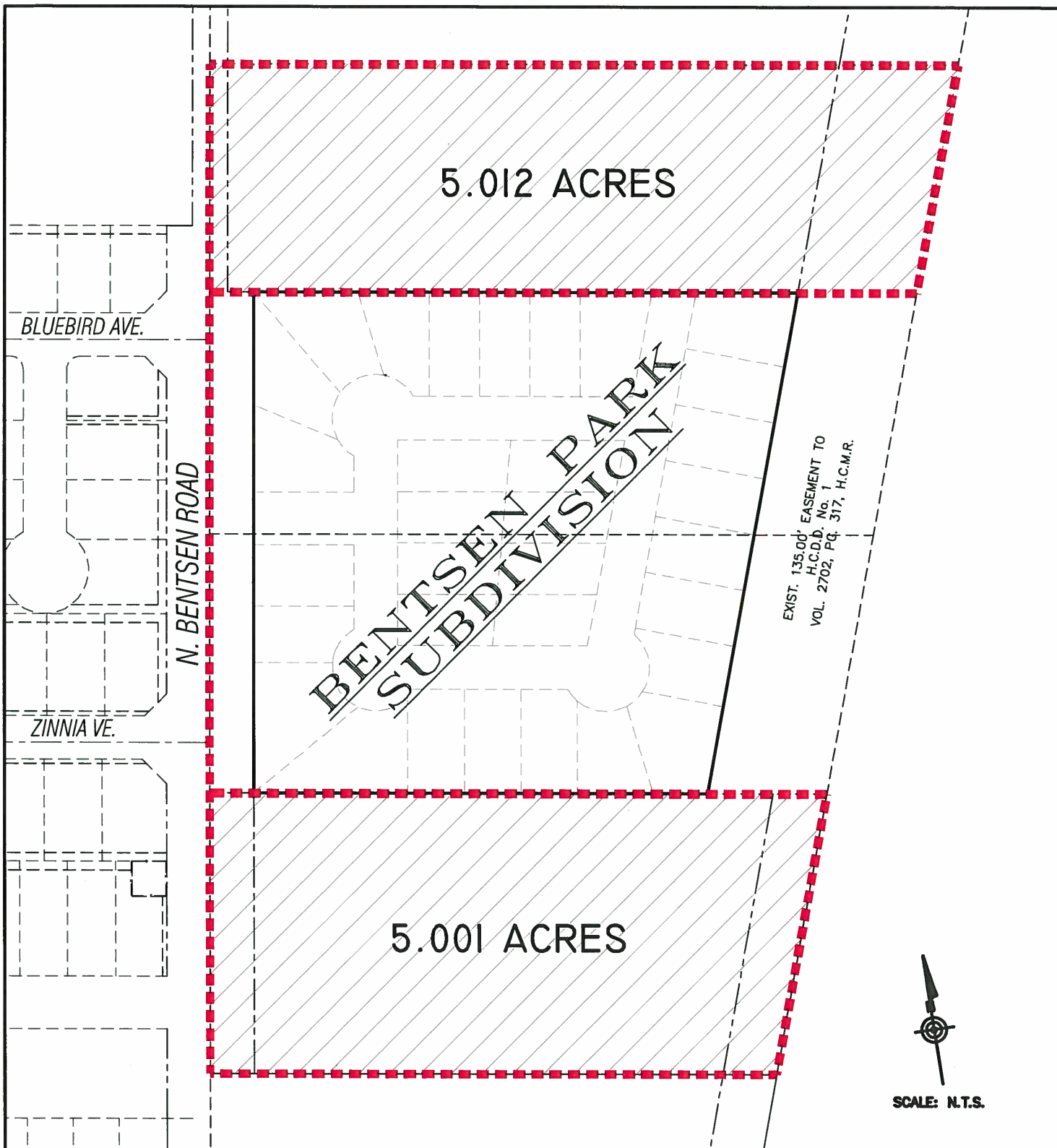
The developer has proposed to establish a preliminary reimbursement service area totaling approximately 17.553 acres, which includes the neighboring properties to the north and south.

The developer has already requested MPU Board participation, in which was approved with an MOU at the first meeting of the year. The total cost for the water improvements is estimated to be approximately \$93,795.50.

	Acres to Serve	Cost	Cost per acre
Developers Water Reimbursement	17.553	\$58,100	\$3,309.98
MPU Participation Water Reimbursement	17.553	\$35,695.50	\$2,033.58

With the review of the proposed request, staff recommends approval of the preliminary reimbursement certificates as proposed by the developer.

I'll be available for further discussion/questions at the MPUB meeting.



BENTSEN PARK SUBDIVISION
WATERLINE REIMBURSEMENT
SERVICE AREA

SDI ENGINEERING, LLC

CIVIL • TRANSPORTATION • PLANNING • STORMWATER

5602 E. IOWA RD., EDINBURG, TEXAS 78542

(956) 287-1818 PH. (956) 287-3697 FAX

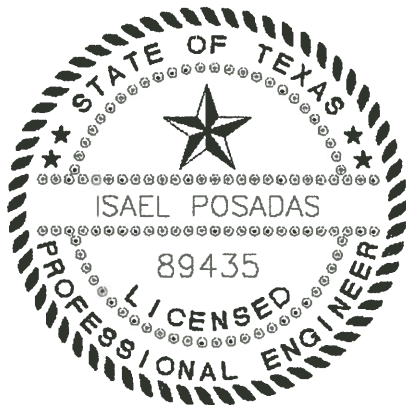
INFO@SDI-ENGINEERING.COM

TBPE REG. NO. F-13016

CONSTRUCTION COST ESTIMATE

Project: Garcia @ Bentsen Subdivision
 Location: N. Bentsen Road
 Owner: South Texas Partners, LLC
 Type of Estimate: Preliminary
 Estimator: IP

REVISED BID					
ITEM	DESCRIPTION	UNIT	QUANTITY	UNIT COST	TOTAL
<u>Water Improvements (Off-Site)</u>					
1	Bore 8" wtrln w/16" Casing*	LF	100.00	\$ 265.00	\$ 26,500.00
2	12-inch 90 Degree Elbows	EA	2	\$ 450.00	\$ 900.00
3	12"x 12" Tee	EA	3	\$ 650.00	\$ 1,950.00
4	12" x 8" Reducer	EA	1	\$ 400.00	\$ 400.00
5	Trench Safety System	LF	950.00	\$ 2.00	\$ 1,900.00
6	12-Inch Valve	EA	4	\$ 2,500.00	\$ 10,000.00
7	12-Inch Waterline (Offsite)	LF	950	\$ 54.89	\$ 52,145.50
8	Total Cost			\$	93,795.50
9	McAllen PUB Contribution			\$	35,695.50
10	Developer's Contribution			\$	58,100.00
		Cost	Total Acres	Per Acre	
11	McAllen PUB Reimbursable	\$ 35,695.50	10.013	\$ 3,564.92	
12	Developer's Reimbursable	\$ 58,100.00	10.013	\$ 5,802.46	



Israel Posadas
 1-18-22

PRELIMINARY REIMBURSEMENT CERTIFICATE

PDEV22.001W
BENTSEN PARK

STATE OF TEXAS X
COUNTY OF HIDALGO X

THIS CERTIFICATE, issued by the McAllen Public Utility (MPUB), as authorized by such Board of Trustees, hereinafter called the MPUB to, So Tx Partners, LLC hereinafter called the DEVELOPER.

1. The DEVELOPER is the developer of the following described property:

Bentsen Park Subd located on the East side of Bentsen Road approximately 1,600' North of Mile 3 North Road
(Location)
and proposes to extend a 12" waterline as shown on a plan designed by
(Service)

SDI Engineering, LLC, and proposes to construct Utilities Improvements, as approved by the
(Engineering Firm)

MPUB on _____
(Approval date)

2. The Developer's Cost (\$ 3,309.97 /Ac.), the Pro Rata Share to be reimbursed to the Developer by the Intervening Developers, in accordance with the presently existing MPUB's Reimbursement Policy, is shown on Exhibit "A" attached hereto and made a part hereof.

3. This certificate hereby entitles the holder hereof, being the Developer, to receive reimbursement of the Pro Rata Share from Intervening Developers, after the deduction of the administrative fee by the MPUB, if and when so collected by the MPUB, in accordance with the MPUB's Reimbursement Policy.

4. The installation of the above-described Utilities Improvements will be completed and will be operational, and installed as approved by the CITY.

5. The right to reimbursement is subject to the Reimbursement Policy as established by the McAllen Public Utility Board effective February 2017 or as such policy may hereinafter be amended.

ISSUED in triplicate originals this 4th day of February, 2022 and
to expire this _____ day of _____, 20____.

CITY OF McAllen BY THE
McALLEN PUBLIC UTILITY

BY: _____
Marco A Vega, P.E.
General Manager, McAllen Public Utility
Post Office Box 220
McAllen, Texas 78505-0220
(956) 681-1630

ATTEST:

Board Secretary

DEVELOPER

BY: [Signature]
Address: _____

10043 N. CONWAY AVE
MISSION, TX 78573

1/28/22

PRELIMINARY REIMBURSEMENT CERTIFICATE

STATE OF TEXAS X
COUNTY OF HIDALGO X

THIS CERTIFICATE, issued by the McAllen Public Utility (MPUB), as authorized by such Board of Trustees, hereinafter called the MPUB to, McAllen Public Utility hereinafter called the DEVELOPER.

1. The DEVELOPER is the developer of the following described property:

Participation to the Bentsen Park offsite waterline improvements along Bentsen Road, near Dove Avenue and will construct a 12-inch waterline as shown on a plan designed by SDI Engineering, LLC, as approved by PUB on April 14, 2020.

2. The Developer's Cost (\$2,033.58/Ac), the Pro Rata Share to be reimbursed to the Developer by the Intervening Developers, in accordance with the presently existing MPUB's Reimbursement Policy, is shown on Exhibit "A" attached hereto and made a part hereof.

3. This certificate hereby entitles the holder hereof, being the Developer, to receive reimbursement of the Pro Rata Share from Intervening Developers, after the deduction of the administrative fee by the MPUB, if and when so collected by the MPUB, in accordance with the MPUB's Reimbursement Policy.

4. The right to reimbursement is subject to the Reimbursement Policy as established by the McAllen Public Utility Board effective February 2017 or as such policy may hereinafter be amended.

ISSUED in duplicate originals this _____ day of _____, 20__

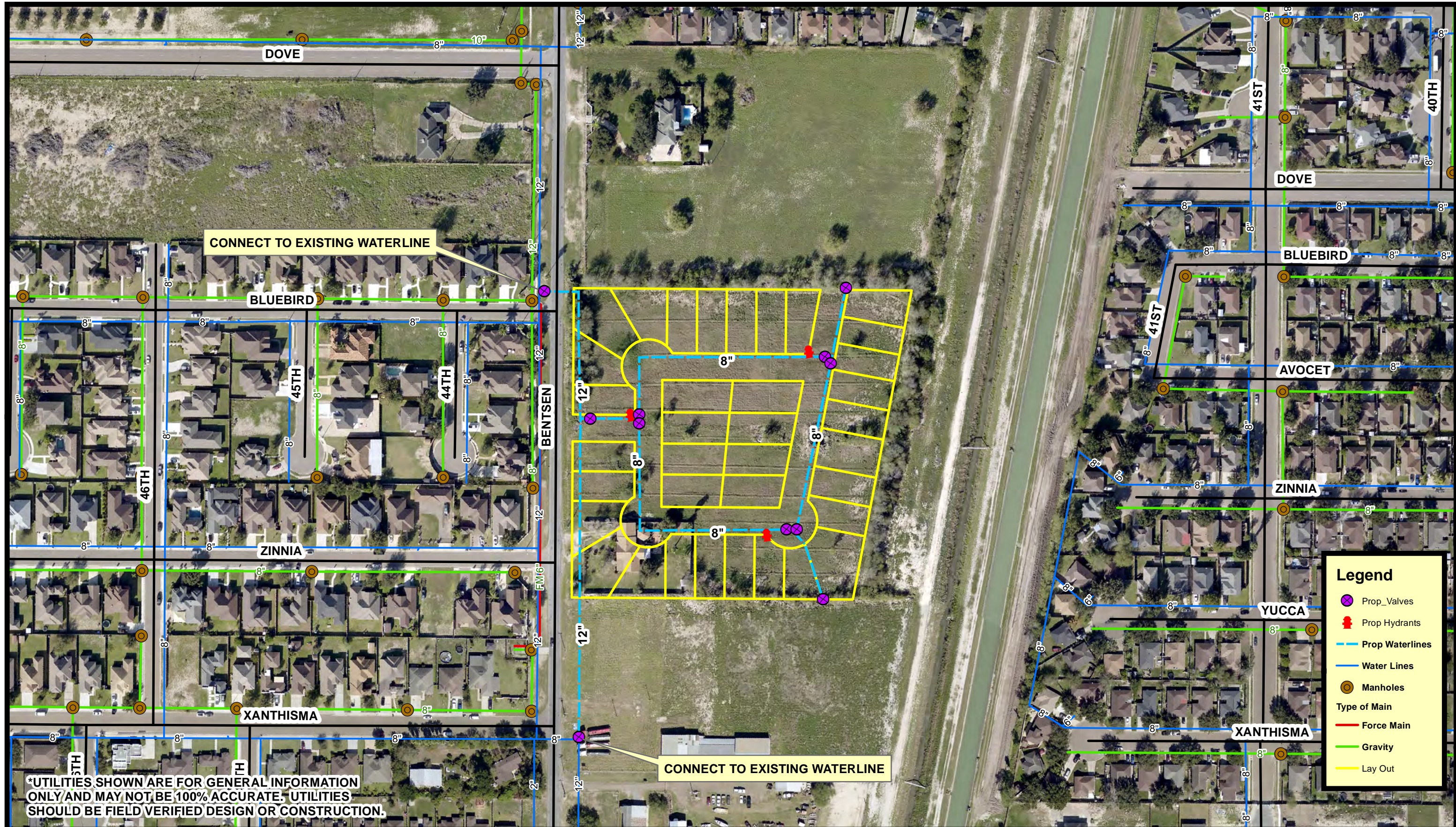
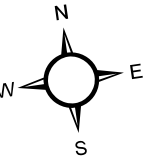
CITY OF McAllen BY THE
McALLEN PUBLIC UTILITY

BY: _____
Marco A Vega, P.E.
General Manager
McAllen Public Utility
Post Office Box 220
McAllen, Texas 78505-0220
(956) 681-1630

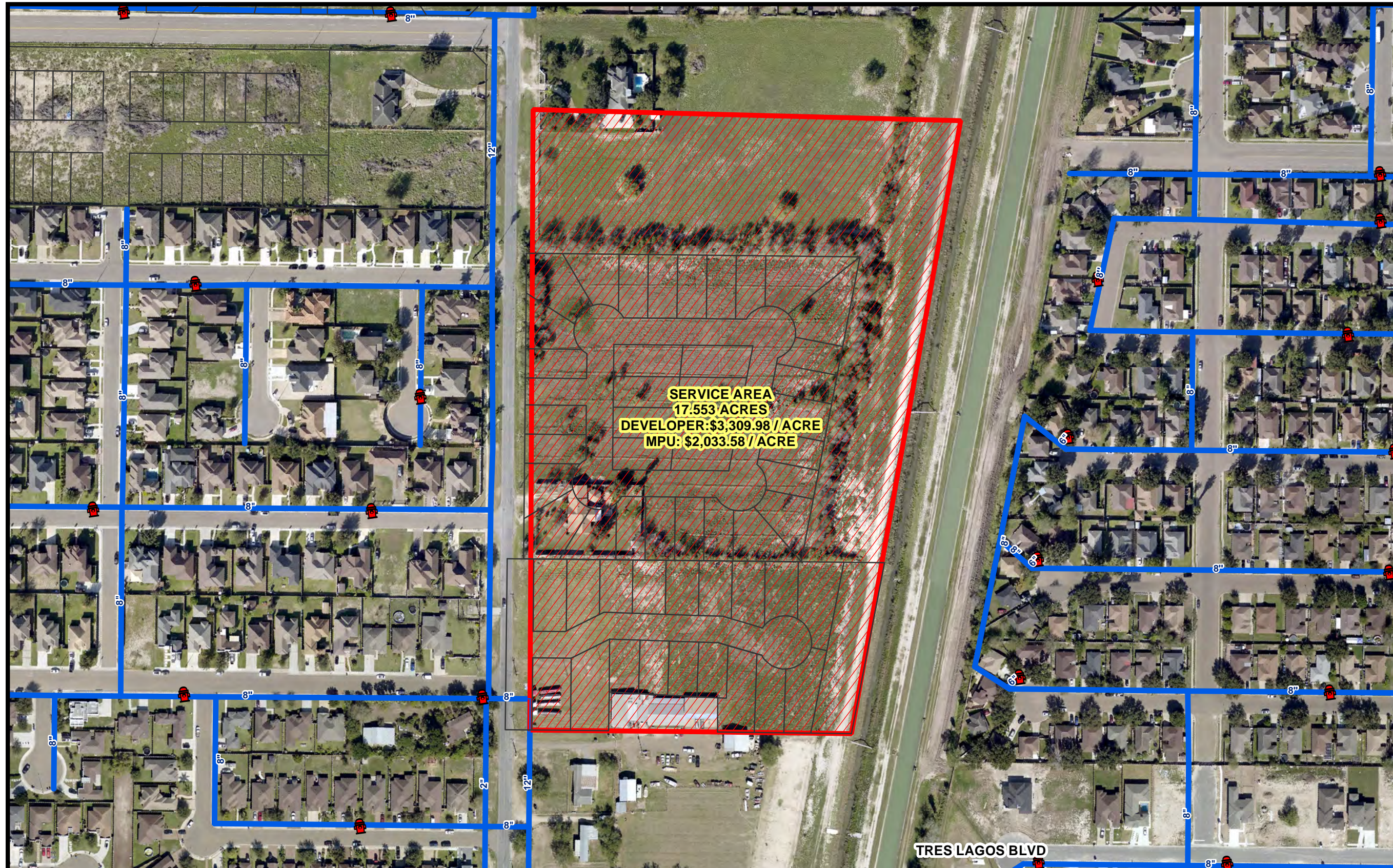
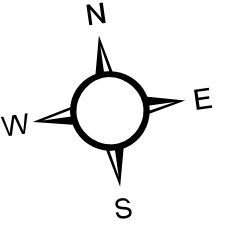
ATTEST:




Board Secretary

BENTSEN PARK SUBDIVISION



BENTSEN PARK SERVICE AREA



- Legend**
-  Existing Fire Hydrants
 -  Existing Waterline
 -  Service Area



AGENDA ITEM 4.f.

PUBLIC UTILITY BOARD

DATE SUBMITTED 02/10/2022

MEETING DATE 2/15/2022

1. Agenda Item: Discussion and Approval of the 7-Eleven on Ware Rd. Subdivision.
2. Party Making Request: Rafael Balderas Jr.
3. Nature of Request: Request of MPU Board approval from the developer of the proposed subdivision.
4. Budgeted:

Bid Amount:	_____	Budgeted Amount:	_____
Under Budget:	_____	Over Budget:	_____
		Amount Remaining:	_____
5. Reimbursement: Waterline Reimbursement to MPU for the Bentsen Road Waterline Project in the amount of \$470.68. Sewer Line Reimbursement to MPU for the Bentsen Road Sewer Project in the amount of \$3,271.27.
6. Routing:
Rafael Balderas Jr. Created/Initiated - 2/10/2022
7. Staff's Recommendation: Staff recommends approval of the proposed subdivision with the conditions set forth.
8. City Attorney: Approved. IJT
9. MPU General Manager: Approved - MAV
10. Director of Finance for Utilities: Approved - MDC

Memo

TO: Marco A. Vega, P.E., General Manager
J.J. Rodriguez, Asst. General Manager

THRU: Carlos Gonzalez, P.E., Utility Engineer

FROM: Rafael A. Balderas, E.I.T., Asst. to the Utility Engineer

DATE: February 8, 2022

SUBJECT: 7 – Eleven on Ware Rd Subdivision; Consideration & Approval of Subdivision

This property is located on the north side Expressway 83 and on the west side of Ware Road. It is located within the McAllen City Limits and is being proposed as C-3 commercial. The tract consists of 1.421 acres and will be a single lot for a 7- Eleven gas station.

The subdivision application was originally filed with the City on May 27, 2021 and has received preliminary P&Z approval on June 16, 2021. The information required from the developer's engineer for this agenda was received on February 7, 2022.


Utility plan/availability is described as follows:

1. **Water Service:** The applicant is proposing to replace existing water services with new ones, which would connect to an existing 12-inch waterline along Ware Road. Staff would recommend that should there be any existing water services to not be in use, that they be properly capped.
2. **Sewer Service:** The applicant is proposing to install a sewer service to service the property, which would connect to an existing 8-inch sewer line also along Ware Road. Staff would recommend that should there be any existing sewer services to not be in use, that they be properly capped.
3. This property falls within the Bentsen Road Water and Sewer service areas.

Staff recommends MPUB approval of the subdivision application as proposed subject to the following: 1.) Dedication of a utility easement, possibly along the perimeter of the property, and where the main utility lines will be installed; 2.) Installation of the proposed public utility infrastructure be constructed as proposed; 3.) Payment of a Waterline Reimbursement to MPU in the amount of \$470.68 for the Bentsen Road Waterline Project; and 4.) Payment of a Sewer Line Reimbursement to MPU in the amount of \$3,271.27 for the Bentsen Road Sewer Line Project.

I'll be available for further discussion/questions at the MPUB meeting.

MEMORANDUM

Date: January 03, 2022
To: Rafael Balderas, McAllen PUB
CC: Vaquero Closner Sprague Partners, LP
From: Mario A. Reyna, P.E. 
Subject: 7-ELEVEN ON WARE ROAD SUBDIVISION

Following is a description of the water and sewer as proposed for the above referenced subdivision:

WATER - MPUB:

The domestic water will be served by City of McAllen. There is an existing 8-inch waterline along the west side of Ware Road-FM 2220 that runs north-south then curves and goes west along U.S. Expressway 83 Frontage. There is an existing 1" Domestic Meter and a 1" Irrigation meter that will be replace with new ones. A 2" domestic line is proposed that will connect to the existing domestic meter, as well as a proposed fire line.

SANITARY SEWER – MPUB:

The sanitary sewer will be served by City of McAllen. There is an existing 8-inch sanitary sewer line along the west side of Ware Road-FM 2220. A proposed 6-inch service will connect to said 8-inch sanitary sewer line with a tap.

Respectfully,



Mario A. Reyna, P.E.
Melden & Hunt, Inc.

REIMBURSEMENT WAIVER

STATE OF TEXAS X

COUNTY OF HIDALGO X

THIS CERTIFICATE, issued by the McAllen Public Utility (MPUB), as authorized by such Board of Trustees, hereinafter called the MPUB to Vaquero Ware Partners, LP hereinafter called the DEVELOPER.

1. The DEVELOPER is the developer of the following described property:

7-ELEVEN ON WARE ROAD SUBDIVISION and proposes to construct Utility Improvements as
(Subdivision Name)

Shown on a plan designed by Melden & Hunt, Inc. dated October 08, 2021, hereinafter called the
(Engineering Firm)

IMPROVEMENTS, as approved by the McAllen Public Utility Board on _____.
(Approval date)

2. By the execution of this certificate, the Developer hereby waives and disclaims the right to obtain reimbursement from Intervening Developers in accordance with the MPUB's Reimbursement Policy.

ISSUED in triplicate originals this _____ day of _____, 20____.

CITY OF McALLEN BY THE
McALLEN PUBLIC UTILITY

BY: _____
Mark Vega, P.E. -
General Manager, McAllen Public Utility
Post Office Box 220
McAllen, Texas 78505-0220
(956) 681-1630

ATTEST:

Board Secretary

DEVELOPER/OWNER:

BY: Kelly Agnor
Vaquero Ware Partners, LP
By: Vaquero Ventures Management, LLC, its general partner
By: Kelly Agnor, Director of Development

**SUBDIVISION REIMBURSEMENT WORKSHEET
7-ELEVEN ON WARE RD SUBDIVISION**

WATERLINE REIMB. CALCULATIONS

WATER:	MPU: BENTSEN ROAD WATER	
COST:	\$301.12 x 1.421 AC	\$427.89
10% ADMIN FEE <10 YEARS		42.79
WATERLINE REIMBURSEMENT		\$470.68

SEWER LINE REIMB. CALCULATIONS

SEWER:	MPU: BENTSEN ROAD SEWER	
COST:	\$2,092.81 x 1.421 AC	\$2,973.88
10% ADMIN FEE <10 YEARS		297.39
SEWER LINE REIMBURSEMENT		\$3,271.27

TOTAL REIMBURSEMENT DUE **\$3,741.95**

Prepared By: RB Date: 11/11/21 Reviewed By: _____

Escrows will be adjusted upon execution of Final Reimbursement Certificate

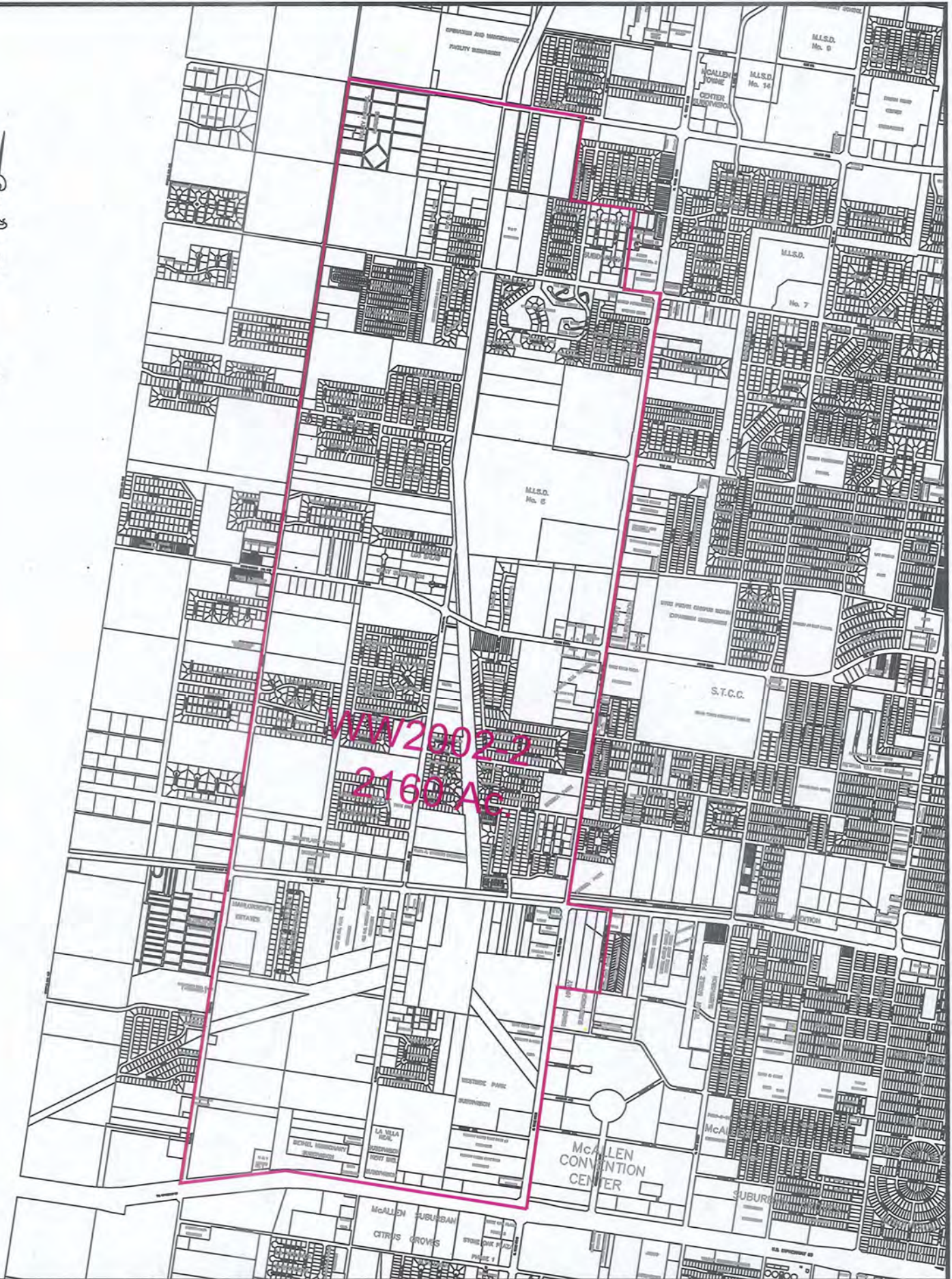
I hereby agree to pay amounts indicated above and any additional costs determined in the Final Reimbursement Certificate as approved by McAllen Public Utility Board.

Signature: Kelly Agnor
Vaquero Ware Partners, LP
By: Vaquero Ventures Management, LLC, its general partner
By: Kelly Agnor, Director of Development

Print: Kelly Agnor



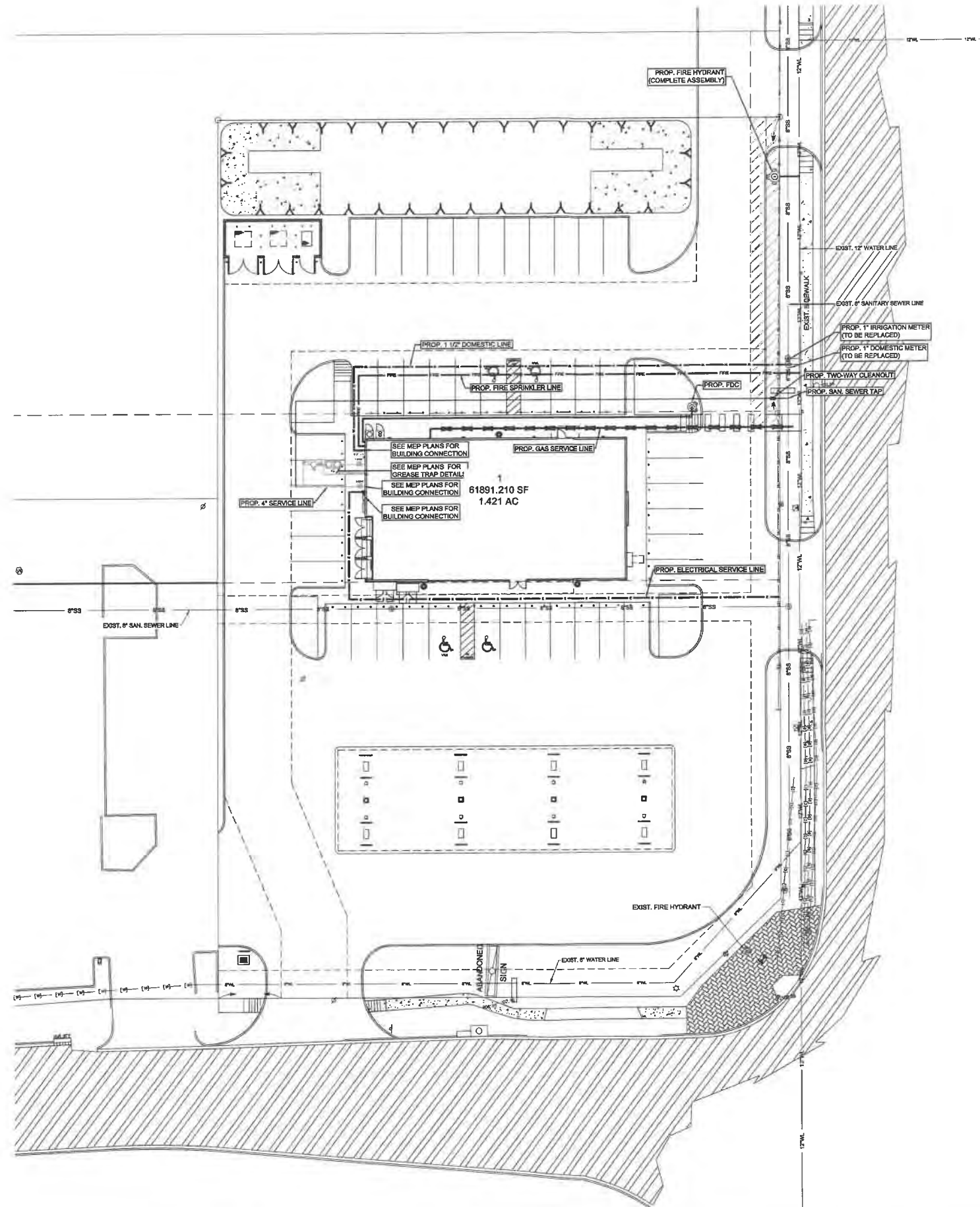
N.T.S.



BENTSEN ROAD SEWER
SERVICE AREA



McALLEN
PUBLIC UTILITY



1 INCH = 20 FT.

- LEGEND**
- FOUND NO. 4 REBAR
 - SET NO. 4 REBAR WITH PLASTIC CAP STAMPED MELDEN & HUNT
 - POWER POLE
 - SERVICE POLE
 - LIGHT POLE
 - ★ LIGHT POLE / ELECTRIC METER
 - GUY WIRE
 - ⊗ TELEPHONE PEDESTAL
 - ⊗ SATELLITE DISH
 - ⊗ UNDERGROUND CABLE MARKER
 - ⊗ MAIL BOX
 - ⊗ FIRE HYDRANT
 - ⊗ WATER METER
 - ⊗ WATER FAUCET
 - ⊗ WATER VALVE
 - ⊗ SPRINKLER VALVE
 - ⊗ VALVE CATHODIC TEST STATION
 - ⊗ TELEPHONE MANHOLE
 - ⊗ CLEANKOUT
 - ⊗ SANITARY SEWER MANHOLE
 - ⊗ TYPE "A" INLET
 - ⊗ TYPE "A" INLET
 - ⊗ UTILITY HOOK-UP POLE
 - ⊗ 36" IRRIGATION STAND PIPE
 - ⊗ GAS VALVE
 - ⊗ GAS METER
 - ⊗ GAS SERVICE CONNECTION
 - ⊗ TANK
 - ⊗ 2x2 TRAFFIC CONTROL PANEL
 - ⊗ 2x2 TRAFFIC CONTROL PANEL
 - ⊗ ELECTRIC BOX
 - ⊗ TRANSFORMER
 - ⊗ ELECTRICAL METER
 - ⊗ TRAFFIC LIGHT POLE
 - ★ PEDESTRIAN CROSSING SIGNAL POLE
 - ⊗ 3" x 3" WOOD POST
 - ⊗ GUARD POST
 - ⊗ CONDUIT PIPE
 - ⊗ SECURITY BOLLARD
 - ⊗ 3" PIPE
 - FENCE
 - HOG WIRE FENCE
 - CHAIN LINK FENCE
 - WOOD FENCE
 - OVERHEAD POWER LINE
 - 18" STORM SEWER LINE
 - SPOTTED WATER LINE (APPROXIMATE LOCATION)
 - SPOTTED CABLE LINE (APPROXIMATE LOCATION)
 - ASPHALT AREA
 - CONCRETE AREA
 - COVERED AREA
 - NO PARKING ZONE
 - BRICK PAVERS
 - CANOPY AREA
 - A-A - EDGE OF ASPHALT TO EDGE OF ASPHALT
 - B-B - BACK OF CURB TO BACK OF CURB
 - H-C M.R. - HICAGO COUNTY MAP RECORDS
 - H-C O.R. - HICAGO COUNTY OFFICIAL RECORDS
 - N.W. COR. - NORTHWEST CORNER
 - S.W. COR. - SOUTHWEST CORNER
 - P.O.B. - POINT OF BEGINNING
 - P.O.C. - POINT OF COMMENCING
 - AC. - ACRES
 - SQ. FT. - SQUARE FEET
 - () - RECORDED MAP CALLS
 - () - RECORDED DEED CALLS
 - LOT LINE
 - PROPERTY LINE
 - SAME OWNER

JOB NO.
21024.00

DATE
2/27/2021

BY
MELDEN & HUNT, INC.

REVISION
1. RELEASE DATE: 2/27/2021
2. RELEASE DATE: 2/27/2021
3. RELEASE DATE: 2/27/2021

AS NOTED

ENG. TECH: CESAR

PROJECT ENG: MARIO REYNA

T-SHEET: 1-1010, PG. 39

1. RELEASE DATE: 2/27/2021

2. RELEASE DATE: 2/27/2021

3. RELEASE DATE: 2/27/2021

SCALE: AS NOTED

MELDEN & HUNT, INC.

CONSULTANTS ENGINEERS & SURVEYORS

115 W. MCINTYRE

227 N. F.M. 3167

PH: (956) 381-0861

FAX: (956) 381-1839

TEAS SOUTH ADD

117368

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MARIO A. REYNA, P.E. 117368

01-28-2022

VIOLATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE LAW

7-ELEVEN ON S. WARE ROAD CITY OF McALLEN HIDALGO COUNTY

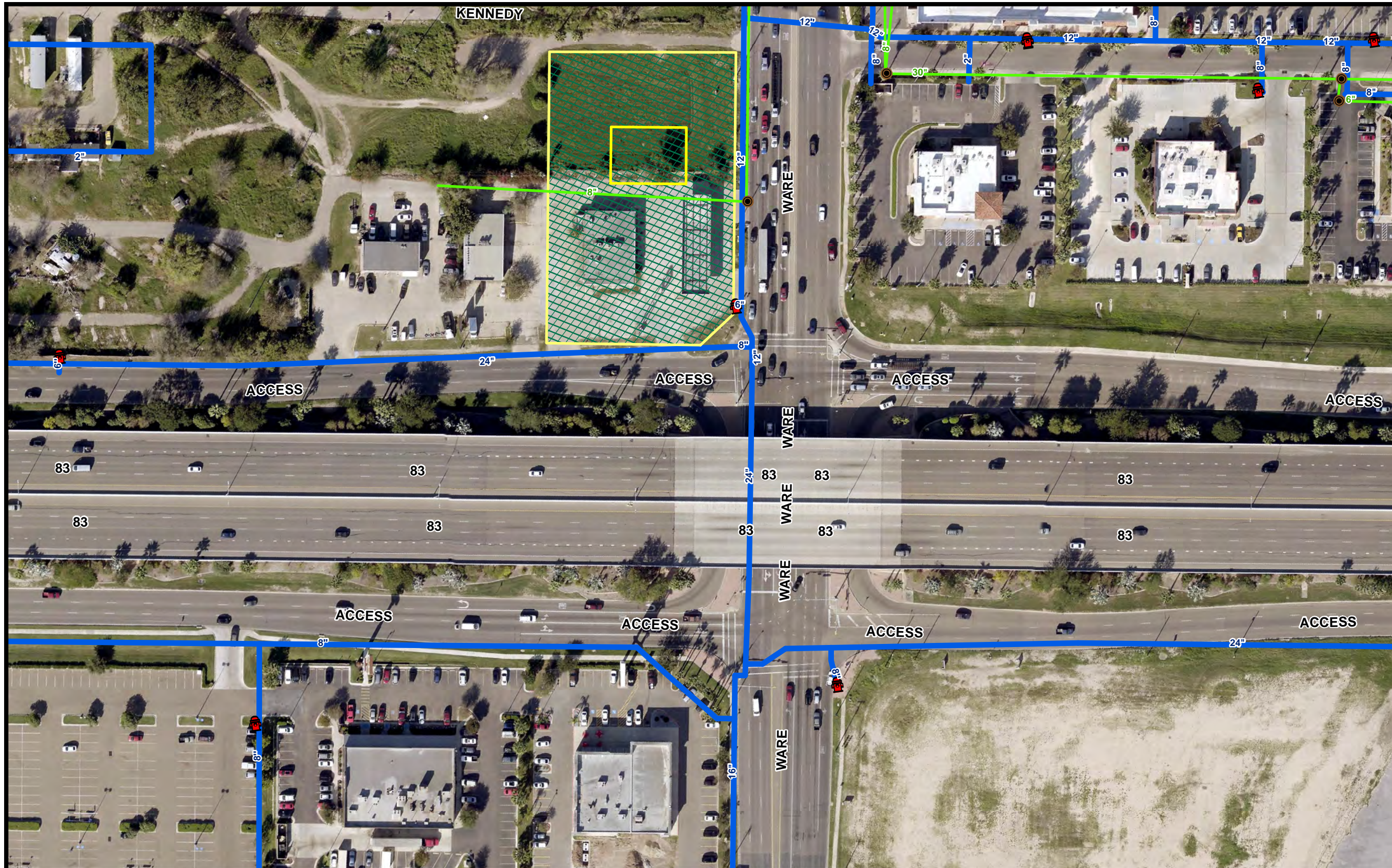
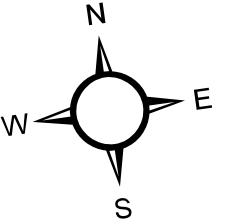
UTILITY LAYOUT

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File Name: 21024.00

SHEET 4 OF 9

7 - ELEVEN ON WARE RD



- Legend**
- Proposed Sewer Line
 - Proposed Manholes
 - Existing Sewer-Line
 - Existing Manhole
 - Proposed Clean-Out
 - Proposed Fire Hydrant
 - Proposed Water Line
 - Existing Waterline
 - Existing Fire Hydrants
 - ▨ Proposed Area



AGENDA ITEM

4.g.

PUBLIC UTILITY BOARD

DATE SUBMITTED

02/10/2022

MEETING DATE

2/15/2022

1. Agenda Item: Discussion and Approval of QQ 10th & Jay Subdivision.
2. Party Making Request:
Rafael Balderas Jr.
3. Nature of Request: Request of MPU Board approval from the developer of the proposed subdivision.
4. Budgeted:

Bid Amount:	_____	Budgeted Amount:	_____
Under Budget:	_____	Over Budget:	_____
		Amount Remaining:	_____
5. Reimbursement: Waterline Reimbursement to MPU for the North Central Distribution Water Project in the amount of \$1,155.76.
6. Routing:
Rafael Balderas Jr. Created/Initiated - 2/10/2022
7. Staff's Recommendation: Staff recommends approval of the proposed subdivision with the conditions set forth.
8. City Attorney: Approved. IJT
9. MPU General Manager: Approved - MAV
10. Director of Finance for Utilities: Approved - MDC

Memo

TO: Marco A. Vega, P.E., General Manager
J.J. Rodriguez, Asst. General Manager

THRU: Carlos Gonzalez, P.E., Utility Engineer

FROM: Rafael A. Balderas, E.I.T., Asst. to the Utility Engineer

DATE: February 8, 2022

SUBJECT: QQ 10th & Jay Subdivision; Consideration & Approval of Subdivision

This property is located on the west side of 10th Street and on the south side of Jay Avenue. It is located within the McAllen City Limits and is being proposed as C-3 commercial. The tract consists of 0.97 acres and will be two lots for a carwash and commercial use.

The subdivision application was originally filed with the City on November 12, 2021 and has received preliminary P&Z approval on December 7, 2021. The information required from the developer's engineer for this agenda was received on February 8, 2022.


Utility plan/availability is described as follows:

1. **Water Service:** The applicant is proposing to install individual water services for each lot, which would connect to the existing 8-inch waterline along 10th Street and the existing waterline along Jay Street.
2. **Sewer Service:** The applicant is proposing to install an 8-inch sewer line to service the property, which would connect to an existing sewer line along Main Street. It is also proposed to provide sewer services for the neighboring properties in the area.
3. This property falls within the North Central Distribution Water service area.

Staff recommends MPUB approval of the subdivision application as proposed subject to the following: 1.) Dedication of a utility easement, possibly along the perimeter of the property, and where the main utility lines will be installed; 2.) Installation of the proposed public utility infrastructure be constructed as proposed; and 3.) Payment of a Waterline Reimbursement to MPU in the amount of \$1,155.76 for the North Central Distribution Waterline Project.

I'll be available for further discussion/questions at the MPUB meeting.

MEMORANDUM

Date: January 04, 2022
To: Rafael Balderas, McAllen PUB
CC: Elevate Engineering
From: Mario A. Reyna, P.E. 
Subject: QQ 10th & JAY SUBDIVISION

Following is a description of the water and sewer as proposed for the above referenced subdivision:

WATER - MPUB:

The domestic water will be served by City of McAllen. There is an existing 8-inch waterline along the north side of Jay Avenue that runs east-west and an existing 8-inch waterline along the east side of N. 10th Street (S.H. 36) that runs north-south. Two (2) 1" domestic water meters will be proposed.

SANITARY SEWER - MPUB:

The sanitary sewer will be served by City of McAllen. There is an existing 8-inch sanitary sewer line along the east side of N. Main Street. A proposed 8-inch line will connect to said 8-inch sanitary sewer line on the south side of Jay Avenue that runs east-west with Ten (10) sanitary sewer service taps.

Respectfully,



Mario A. Reyna, P.E.
Melden & Hunt, Inc.

REIMBURSEMENT WAIVER

STATE OF TEXAS X

COUNTY OF HIDALGO X

THIS CERTIFICATE, issued by the McAllen Public Utility (MPUB), as authorized by such Board of Trustees, hereinafter called the MPUB to QQRGV INVESTMENTS, LLC hereinafter called the DEVELOPER.

1. The DEVELOPER is the developer of the following described property:

QQ 10TH & JAY SUBDIVISION and proposes to construct Utility Improvements as shown on
(Subdivision Name)
a plan designed by Melden & Hunt, Inc. dated October 08, 2021, hereinafter called the IMPROVEMENTS,
(Engineering Firm)
as approved by the McAllen Public Utility Board on _____.
(Approval date)

2. By the execution of this certificate, the Developer hereby waives and disclaims the right to obtain reimbursement from Intervening Developers in accordance with the MPUB's Reimbursement Policy.

ISSUED in triplicate originals this _____ day of _____, 20__.


CITY OF McALLEN BY THE
McALLEN PUBLIC UTILITY

BY: _____
Mark Vega, P.E. -
General Manager, McAllen Public Utility
Post Office Box 220
McAllen, Texas 78505-0220
(956) 681-1630

ATTEST:

Board Secretary

DEVELOPER/OWNER:

BY:  _____
QQRGV INVESTMENTS, LLC,
A Utah limited liability company
Dallas Hakes
2208 West 700 South
Springville, Utah 84663

**SUBDIVISION REIMBURSEMENT WORKSHEET
QQ 10TH & JAY SUBDIVISION**

WATER LINE REIMB. CALCULATIONS

WATER:	MPU: NORTH CENTRAL DISTRIBUTION	
COST:	\$310.12 x 3.388 AC	\$1,050.69
10% ADMIN FEE <10 YEARS		105.07
WATER LINE REIMBURSEMENT		\$1,155.76

TOTAL REIMBURSEMENT DUE

\$1,155.76

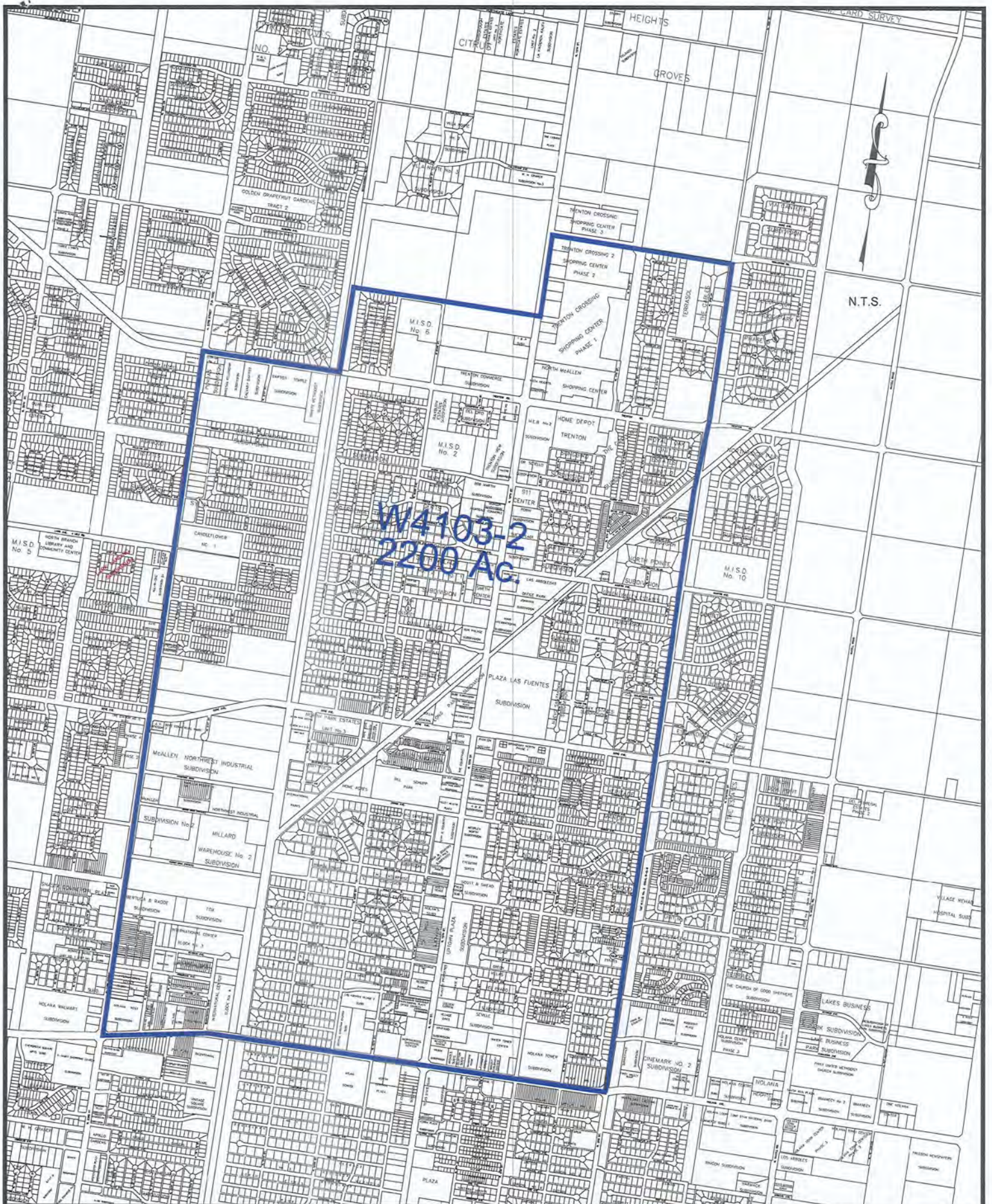
Prepared By: PB Date: 1/3/22 Reviewed By: _____

Escrows will be adjusted upon execution of Final Reimbursement Certificate

I hereby agree to pay amounts indicated above and any additional costs determined in the Final Reimbursement Certificate as approved by McAllen Public Utility Board.

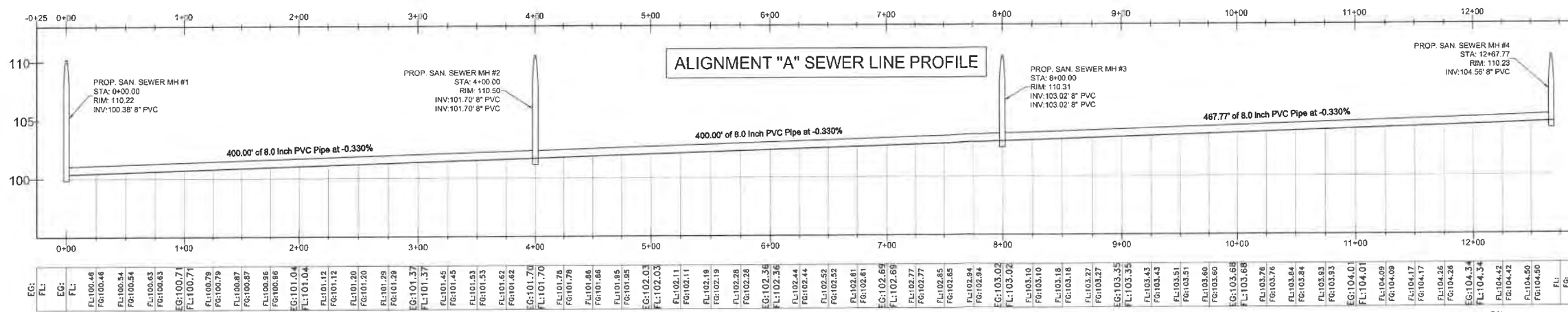
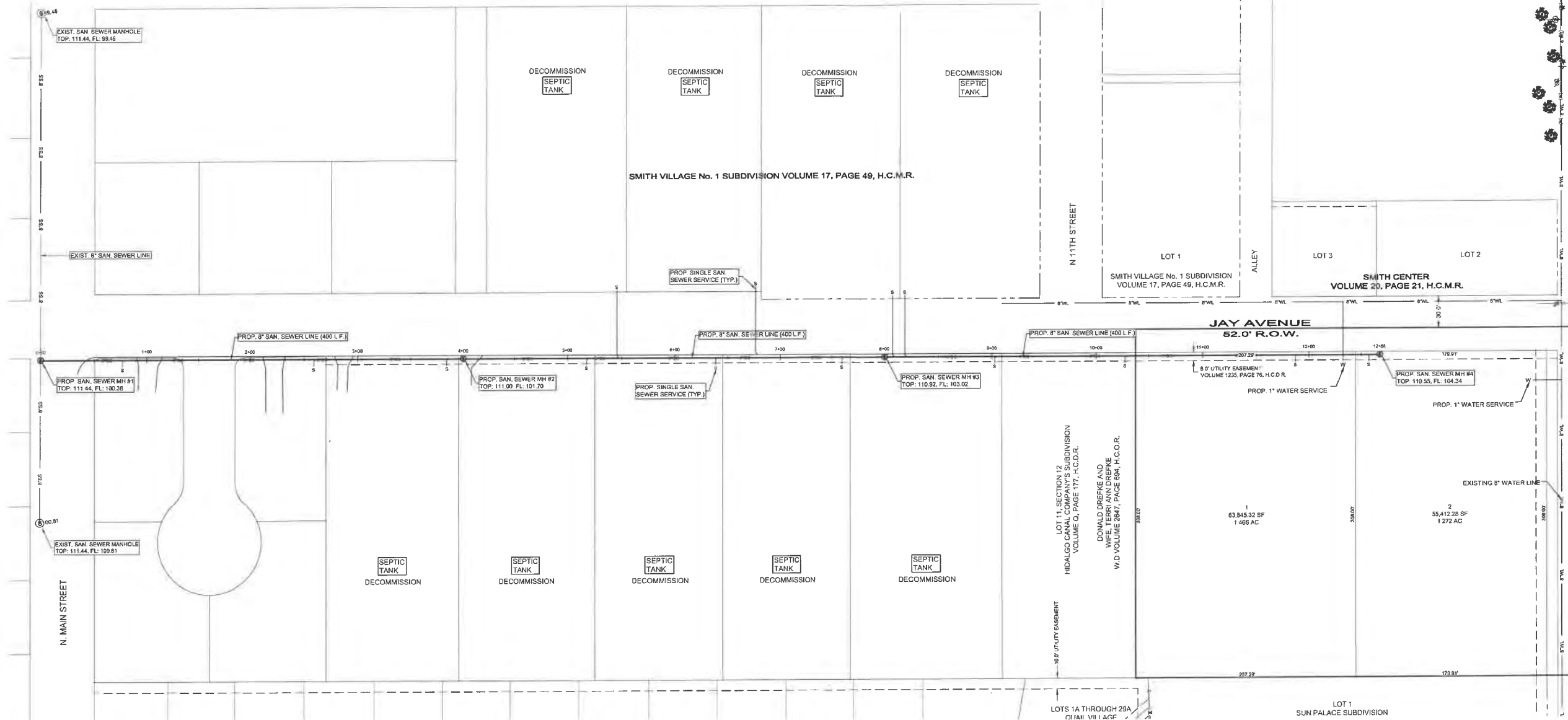
Signature: 

Print: 2-7-2022



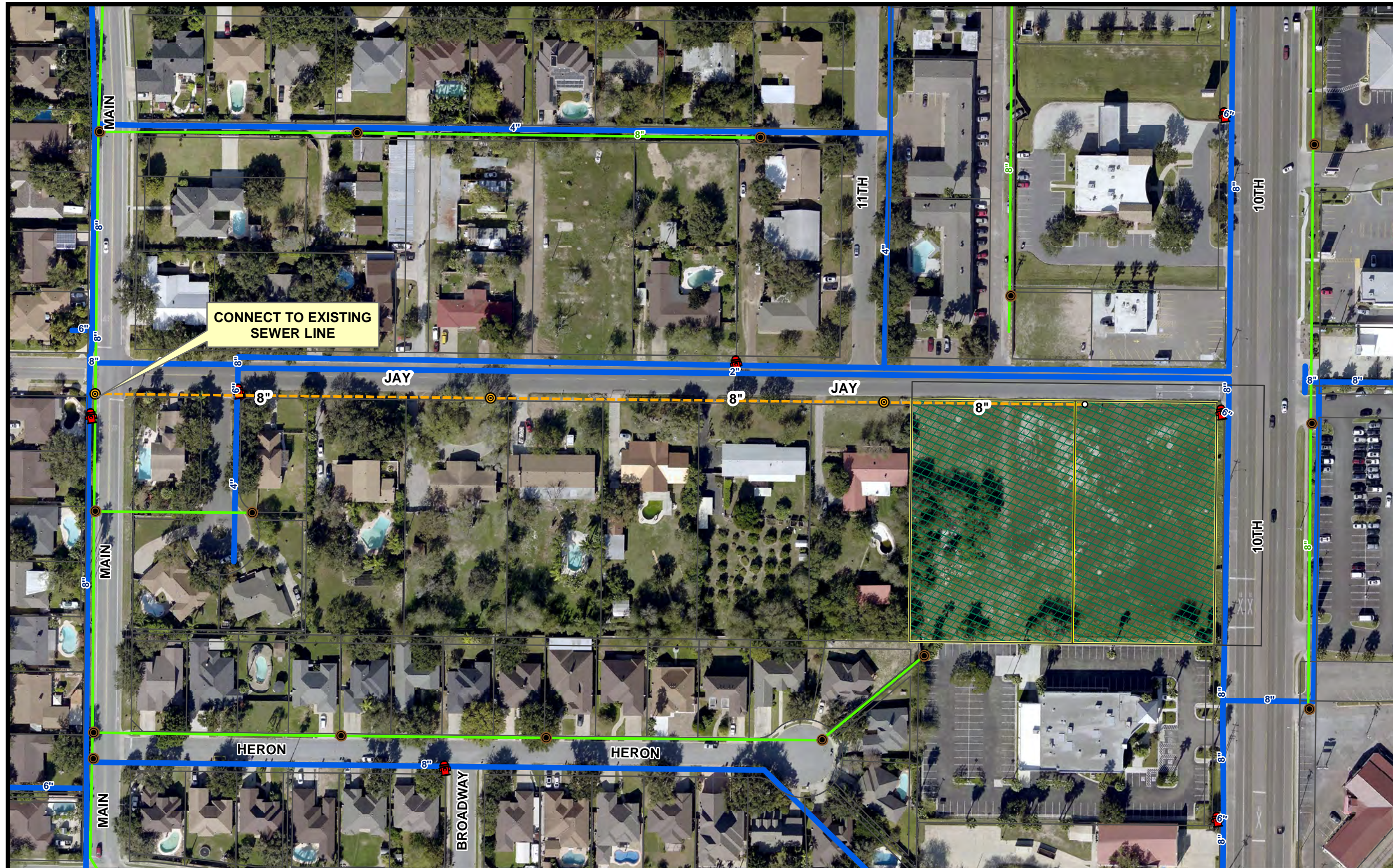
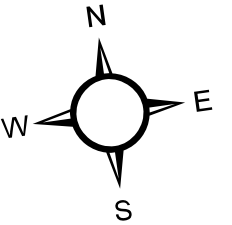
NORTH CENTRAL DISTRIBUTION MAINS
SERVICE AREA





EG:	FL:
FL:100.46	FL:100.46
FL:100.54	FL:100.54
FL:100.63	FL:100.63
FL:100.71	FL:100.71
FL:100.79	FL:100.79
FL:100.87	FL:100.87
FL:100.95	FL:100.95
FL:101.03	FL:101.03
FL:101.11	FL:101.11
FL:101.19	FL:101.19
FL:101.27	FL:101.27
FL:101.35	FL:101.35
FL:101.43	FL:101.43
FL:101.51	FL:101.51
FL:101.59	FL:101.59
FL:101.67	FL:101.67
FL:101.75	FL:101.75
FL:101.83	FL:101.83
FL:101.91	FL:101.91
FL:101.99	FL:101.99
FL:102.07	FL:102.07
FL:102.15	FL:102.15
FL:102.23	FL:102.23
FL:102.31	FL:102.31
FL:102.39	FL:102.39
FL:102.47	FL:102.47
FL:102.55	FL:102.55
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FL:103.11	FL:103.11
FL:103.19	FL:103.19
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FL:103.59	FL:103.59
FL:103.67	FL:103.67
FL:103.75	FL:103.75
FL:103.83	FL:103.83
FL:103.91	FL:103.91
FL:103.99	FL:103.99
FL:104.07	FL:104.07
FL:104.15	FL:104.15
FL:104.23	FL:104.23
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FL:104.71	FL:104.71
FL:104.79	FL:104.79
FL:104.87	FL:104.87
FL:104.95	FL:104.95
FL:105.03	FL:105.03
FL:105.11	FL:105.11
FL:105.19	FL:105.19
FL:105.27	FL:105.27
FL:105.35	FL:105.35
FL:105.43	FL:105.43
FL:105.51	FL:105.51
FL:105.59	FL:105.59
FL:105.67	FL:105.67
FL:105.75	FL:105.75
FL:105.83	FL:105.83
FL:105.91	FL:105.91
FL:105.99	FL:105.99
FL:106.07	FL:106.07
FL:106.15	FL:106.15
FL:106.23	FL:106.23
FL:106.31	FL:106.31
FL:106.39	FL:106.39
FL:106.47	FL:106.47
FL:106.55	FL:106.55
FL:106.63	FL:106.63
FL:106.71	FL:106.71
FL:106.79	FL:106.79
FL:106.87	FL:106.87
FL:106.95	FL:106.95
FL:107.03	FL:107.03
FL:107.11	FL:107.11
FL:107.19	FL:107.19
FL:107.27	FL:107.27
FL:107.35	FL:107.35
FL:107.43	FL:107.43
FL:107.51	FL:107.51
FL:107.59	FL:107.59
FL:107.67	FL:107.67
FL:107.75	FL:107.75
FL:107.83	FL:107.83
FL:107.91	FL:107.91
FL:107.99	FL:107.99
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FL:108.47	FL:108.47
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QQ 10TH & JAY



- Legend**
- Proposed Clean-Out
 - 🚒 Proposed Fire Hydrant
 - Existing Manhole
 - ⦿ Proposed Manholes
 - Proposed Water Line
 - - - Proposed Sewer Line
 - 🚒 Existing Fire Hydrants
 - ▨ Proposed Area
 - Existing Sewer-Line
 - Existing Waterline



AGENDA ITEM

4.h.

PUBLIC UTILITY BOARD

DATE SUBMITTED

02/10/2022

MEETING DATE

2/15/2022

1. Agenda Item: Discussion and Approval of Estancia at Tres Lagos Phase III Subdivision.
2. Party Making Request:
Rafael Balderas Jr.
3. Nature of Request: Request of MPU Board approval from the developer of the proposed subdivision.
4. Budgeted:

Bid Amount:	_____	Budgeted Amount:	_____
Under Budget:	_____	Over Budget:	_____
		Amount Remaining:	_____
5. Reimbursement: Sewer Line Reimbursement to the Developer of El Pacifico for the El Pacifico Sewer Project in the amount of \$9,946.49. Sewer Line Reimbursement to MPU for participation to the El Pacifico Sewer Project in the amount of \$2,932.63.
6. Routing:
Rafael Balderas Jr. Created/Initiated - 2/10/2022
7. Staff's Recommendation: Staff recommends approval of the proposed subdivision with the conditions set forth.
8. City Attorney: Approved. IJT
9. MPU General Manager: Approved - MAV
10. Director of Finance for Utilities: Approved - MDC

Memo

TO: Marco A. Vega, P.E., General Manager
J.J. Rodriguez, Asst. General Manager

THRU: Carlos Gonzalez, P.E., Utility Engineer

FROM: Rafael A. Balderas, E.I.T., Asst. to the Utility Engineer

DATE: February 8, 2022

SUBJECT: Estancia at Tres Lagos Phase III Subdivision; Consideration & Approval of Subdivision

This property is located along Estancia Parkway, which is north of Tres Lago Boulevard, west of Estancia Phase I and II. It is located within the McAllen City Limits and is being proposed as R-1 residential. The tract consists of 15.279 acres and will be 29 lots for single family homes.

The subdivision application was originally filed with the City on November 19, 2021 and has received preliminary P&Z approval on December 7, 2021. The information required from the developer's engineer for this agenda was received on February 7, 2022.


Utility plan/availability is described as follows:

1. **Water Service:** The property falls within the Sharyland Water Supply Corporation Water CCN. The applicant will need to follow the City's standard subdivision requirements as they pertain to fire protection. Coordination with the fire department will be needed for fire hydrant placement.
2. **Sewer Service:** The applicant is proposing to connect to an existing 8-inch sewer line that is located within the property along Estancia Parkway, that was conducted with phase II. Extension of an 8-inch sewer line will be constructed north as well.
3. **Reclaimed Water Service:** The applicant is proposing to connect to an existing 8-inch reclaimed waterline on the east side of the property that was installed with phase II along Estancia Parkway.
4. This property falls within the El Pacifico Sewer Reimbursements.

Staff recommends MPUB approval of the subdivision application as proposed subject to the following: 1.) Dedication of a utility easement, possibly along the perimeter of the property, and where the main utility lines will be installed; 2.) Installation of the proposed public utility infrastructure be constructed as proposed; 3.) Execution of a Waterline Access Agreement between the Developer, SWSC, and the City; 4.) Payment of a Sewer Line Reimbursement to the Developer of El Pacifico in the amount of \$9,946.49 for the El Pacifico Sewer Project; and Payment of a Sewer Line Reimbursement to MPU in the amount of \$2,932.63 for participation to the El Pacifico Sewer Project.

I'll be available for further discussion/questions at the MPUB meeting.

MEMORANDUM

Date: February 4, 2022
To: Rafael Balderas, McAllen PUB
CC: Rhodes Development
From: Mario A. Reyna, P.E. 
Subject: ESTANCIA AT TRES LAGOS PHASE III

The Spine infrastructure within Tres Lagos Boulevard brought a 12" SWSC Water Main, 24" MPUB sanitary sewer line, and a 12" MPUB Re-use water main to the perimeter of the subdivision.

WATER - SWSC

There is an existing SWSC 12-inch water main along the south right-of-way line within Tres Lagos Boulevard. An 8-inch waterline was extended into Estancia Parkway and then looped and extended through each of the streets within Phases I & II and was connected to an existing 8-inch waterline loop from the IDEA campus. The existing 8-inch waterline loop that runs within the proposed street right-of-way or dedicated easements will provide all necessary services and fire protection to the lots within said Estancia at Tres Lagos Subdivision Phase III and will be stubbed to any future phase.

SANITARY SEWER- MPUB

There is an existing 24-inch sanitary sewer line along the north right-of-way line of Tres Lagos Boulevard and an 8-inch sanitary sewer main has been extended into Estancia Parkway through each of the streets within Phases I & II. The 8-inch sanitary sewer line will be extended within the right-of-way or dedicated easements or interior streets and provide all necessary services to all lots within said Estancia at Tres Lagos Subdivision Phase III and will be stubbed to any future phase.

RE-USE WATER LINE - MPUB

There is an existing 12-inch re-use water line along the north right-of-way line of Tres Lagos Boulevard and an 8-inch re-use water main has been stubbed into Estancia Parkway through each of the streets within Phases I & II. The 8-inch re-use water line will be extended within the right-of-way or dedicated easements of interior streets and provide all necessary services to all lots within said Estancia at Tres Lagos Subdivision Phase III and will be stubbed to any future phase.

Respectfully,



Mario A. Reyna, P.E.
Melden & Hunt, Inc.

REIMBURSEMENT WAIVER

STATE OF TEXAS X

COUNTY OF HIDALGO X

THIS CERTIFICATE, issued by the McAllen Public Utility (MPUB), as authorized by such Board of Trustees, hereinafter called the MPUB to RHODES DEVELOPMENT, INC. hereinafter called the DEVELOPER.

1. The DEVELOPER is the developer of the following described property:

ESTANCIA AT TRES LAGOS PHASE III SUBDIVISION and proposes to construct Utility Improvements as shown on a plan

(Subdivision Name)

designed by Melden & Hunt, Inc. dated November 12, 2021, hereinafter called the IMPROVEMENTS,

(Engineering Firm)

as approved by the McAllen Public Utility Board on _____.

(Approval date)

2. By the execution of this certificate, the Developer hereby waives and disclaims the right to obtain reimbursement from Intervening Developers in accordance with the MPUB's Reimbursement Policy.

ISSUED in triplicate originals this _____ day of _____, 20__.

CITY OF McALLEN BY THE
McALLEN PUBLIC UTILITY

BY: _____


Mark Vega, P.E. -
General Manager, McAllen Public Utility
Post Office Box 220
McAllen, Texas 78505-0220
(956) 681-1630

ATTEST:

Board Secretary

DEVELOPER/OWNER:

BY: _____


RHODES DEVELOPMENT, INC.
200 S. 10th St., Ste 1700
McAllen, Hidalgo County, TX 78501

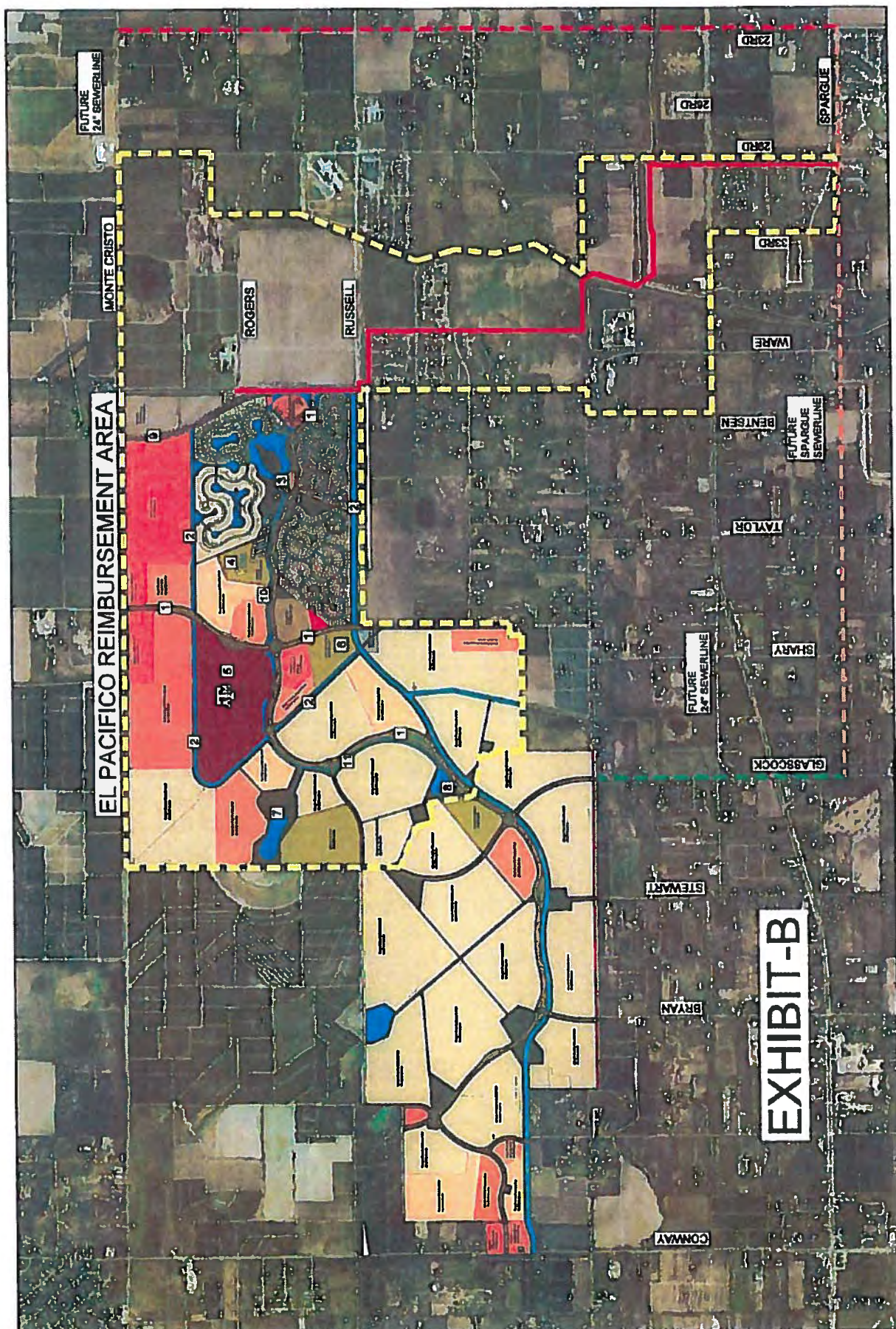
SEWER LINE REIMB. CALCULATIONS			
SEWER:	DEV. OF EL PACIFICO SUBDIVISION		
COST:	\$591.81 x	15.279 AC	\$9,042.26
10% ADMIN FEE	<10 YEARS		904.23
SEWER LINE REIMBURSEMENT			\$9,946.49

SEWER LINE REIMB. CALCULATIONS			
SEWER:	MPU: EL PACIFICO PARTICIPATION		
COST:	\$174.49 x	15.279 AC	\$2,666.03
10% ADMIN FEE	<10 YEARS		266.60
SEWER LINE REIMBURSEMENT			\$2,932.63

Prepared By: RS Date: 2/7/22 Reviewed By: _____

I hereby agree to pay amounts indicated above and any additional costs determined in the Final Reimbursement Certificate as approved by McAllen Public Utility Board.

Print: _____



8

METES AND BOUNDS DESCRIPTION

A TRACT OF LAND CONTAINING 15.279 ACRES SITUATED IN THE CITY OF MCALLEN, COUNTY OF HIDALGO, TEXAS, BEING A PART OR PORTION OUT OF SECTION 232, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 4, PAGES 142-143, HIDALGO COUNTY DEED RECORDS, SAID 15.279 ACRES OUT OF A CERTAIN TRACT CONVEYED TO RHODES ENTERPRISES, INC., A TEXAS CORPORATION BY VIRTUE OF A CORRECTION SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2869364, HIDALGO COUNTY OFFICIAL RECORDS, SAID 15.279 ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHERNMOST SOUTHWEST CORNER OF LOT 85, ESTANCIA AT TRES LAGOS PHASE II SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN INSTRUMENT NUMBER 3156009, HIDALGO COUNTY MAP RECORDS,

1. THENCE, S 48° 00' 00" W A DISTANCE OF 165.71 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT,
2. THENCE, S 76° 00' 00" W A DISTANCE OF 130.00 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT,
3. THENCE, N 74° 00' 00" W A DISTANCE OF 150.00 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT,
4. THENCE, N 52° 00' 00" W A DISTANCE OF 110.00 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT,
5. THENCE, N 46° 44' 33" W A DISTANCE OF 227.92 FEET TO A NO. 4 REBAR SET FOR AN INSIDE CORNER OF THIS TRACT,
6. THENCE, S 86° 56' 50" W A DISTANCE OF 58.03 FEET TO A NO. 4 REBAR SET FOR AN INSIDE CORNER OF THIS TRACT,
7. THENCE, S 70° 13' 16" W A DISTANCE OF 160.94 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT,
8. THENCE, N 82° 35' 56" W A DISTANCE OF 227.91 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT,
9. THENCE, N 55° 45' 16" W A DISTANCE OF 279.79 FEET TO A NO. 4 REBAR SET FOR THE SOUTHWEST CORNER OF THIS TRACT,
10. THENCE, N 13° 00' 00" W A DISTANCE OF 607.88 FEET TO A NO. 4 REBAR SET FOR THE NORTHWEST CORNER OF THIS TRACT,
11. THENCE, N 68° 30' 00" E A DISTANCE OF 183.26 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT,
12. THENCE, N 86° 50' 51" E A DISTANCE OF 52.44 FEET TO A NO. 4 REBAR SET FOR AN INSIDE CORNER OF THIS TRACT,
13. THENCE, N 70° 00' 00" E A DISTANCE OF 174.93 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT,
14. THENCE, S 18° 00' 00" E A DISTANCE OF 132.84 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT,
15. THENCE, S 06° 00' 00" E A DISTANCE OF 134.86 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT,
16. THENCE, S 12° 00' 00" W A DISTANCE OF 131.88 FEET TO A NO. 4 REBAR SET FOR AN INSIDE CORNER OF THIS TRACT,
17. THENCE, S 12° 00' 00" E A DISTANCE OF 88.33 FEET TO A NO. 4 REBAR SET FOR AN INSIDE CORNER OF THIS TRACT,
18. THENCE, S 49° 00' 00" E A DISTANCE OF 80.73 FEET TO A NO. 4 REBAR SET FOR AN INSIDE CORNER OF THIS TRACT,
19. THENCE, S 63° 00' 00" E A DISTANCE OF 80.99 FEET TO A NO. 4 REBAR SET FOR AN INSIDE CORNER OF THIS TRACT,
20. THENCE, N 63° 00' 00" E A DISTANCE OF 201.02 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT,
21. THENCE, S 84° 00' 00" E A DISTANCE OF 190.00 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT,
22. THENCE, S 49° 00' 00" E A DISTANCE OF 160.00 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT,
23. THENCE, S 22° 00' 00" E A DISTANCE OF 170.00 FEET TO A NO. 4 REBAR SET FOR AN INSIDE CORNER OF THIS TRACT,
24. THENCE, S 84° 00' 00" E A DISTANCE OF 74.47 FEET TO A NO. 4 REBAR SET FOR AN INSIDE CORNER OF THIS TRACT,
25. THENCE, N 58° 00' 00" E A DISTANCE OF 70.42 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT,
26. THENCE, S 59° 16' 40" E A DISTANCE OF 135.89 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT,
27. THENCE, IN A SOUTHWEST DIRECTION, ALONG A CURVE TO THE RIGHT, WITH A CENTRAL ANGLE OF 17° 28' 24", A RADIUS OF 225.00 FEET, AN ARC LENGTH OF 68.62 FEET, A TANGENT OF 34.58 FEET, AND A CHORD THAT BEARS S 38° 05' 59" W A DISTANCE OF 38.35 FEET TO A NO. 4 REBAR SET FOR AN INSIDE CORNER OF THIS TRACT,
28. THENCE, S 43° 09' 49" E A DISTANCE OF 50.00 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT,
29. THENCE, S 34° 00' 00" E A DISTANCE OF 139.85 FEET TO THE POINT OF BEGINNING AND CONTAINING 15.279 ACRES OF LAND, MORE OR LESS.

GENERAL NOTES:

1. THIS SUBDIVISION IS LOCATED IN ZONE "X" UNSHADED ON FEMA'S FLOOD INSURANCE RATE MAP. AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN. COMMUNITY PANEL NUMBER 480334 0235 D, MAP REVISED: JUNE 08, 2000.
2. MINIMUM FINISH FLOOR NOTE: MINIMUM FINISH FLOOR ELEVATION SHALL BE 16" ABOVE TOP OF CURB AT CENTER OF LOT.
3. MINIMUM SETBACKS SHALL BE:
FRONT: 20 FEET MINIMUM OR AS SHOWN IN "FRONT SETBACK TABLE" (SHEET 1 OF 2)
REAR: 11 FEET OR GREATER FOR EASEMENTS
16 FEET FOR LOTS 100-115
INTERIOR SIDES: 5 FEET, OR GREATER FOR EASEMENTS PER AGREEMENT.
SIDE CORNER: 10 FEET OR GREATER FOR EASEMENTS AS MAY BE APPLICABLE.
GARAGE: 18 FEET EXCEPT WHERE GREATER SETBACK IS REQUIRED; GREATER SETBACK APPLIES.
4. REQUIRED DETENTION FOR STORM SEWER RUNOFF PER THE APPROVED DRAINAGE REPORT SHALL BE 37,051 CUBIC FEET (0.851 AC-Ft.). STORM WATER RUNOFF GENERATED FROM DEVELOPMENT SHALL BE DETAINED OFF-SITE IN THE ADJACENT DRAIN DITCHES TO DESIGN OF THESE DRAIN DITCHES IS REFERENCED IN THE MASTER DRAINAGE STUDY.
5. AN ENGINEERED DRAINAGE DETENTION PLAN, APPROVED BY THE ENGINEERING DEPARTMENT SHALL BE SUBMITTED AND APPROVED BY CITY OF MCALLEN PRIOR TO ISSUANCE OF BUILDING PERMIT.
6. CITY OF MCALLEN BENCHMARK: NUMBER MC23, TOP OF 30" ALUMINUM PIPE WITH A 3-14" BRASS MONUMENT CAP TOP AT THE NORTHWEST CORNER OF THE INTERSECTION OF F.M. 2220 AND F.M. 1825, GEODETIC G.P.S. TEXAS STATE PLANE GRID COORDINATE SYSTEM, NAD 83 TEXAS SOUTH 4205 ELEVATION PER NAVD 88 (GEOID 2003) N=16652949 4951, 1067206 29414, ELEV = 128.79
7. NO BUILDING ALLOWED OVER ANY EASEMENT.
8. 4 FOOT MINIMUM SIDEWALK REQUIRED ON INTERIOR STREETS, AS PER APPROVED SIDEWALK PLAN FILED WITH THE CITY AT BUILDING PERMIT STAGE.
9. 8 FOOT OPAQUE BUFFER REQUIRED FROM ADJACENT BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, OR INDUSTRIAL ZONE USES.
10. 8 FOOT MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONE USES.
11. PRIVATE TECHNOLOGY EASEMENT: DECLARANT RESERVES A TECHNOLOGY EASEMENT AS SHOWN ON THIS PLAT FOR PRIVATE USE FOR TECHNOLOGY UTILITIES, INCLUDING ALL CABLE, FIBER OR OTHER TRANSPORT MEDIA FOR TECHNOLOGY SERVICES.
12. TERMS AND CONDITIONS AND RESERVATION OF TECHNOLOGY EASEMENTS DATED AUGUST 13, 2015, FILED NOVEMBER 25, 2015, BETWEEN HIDALGO COUNTY TEXAS CORPORATION, INC., TO M.L. RHODES L.T.O. A TEXAS LIMITED PARTNERSHIP RECORDED UNDER CLERK'S FILE NO. 2869362, OFFICIAL RECORDS OF HIDALGO COUNTY, TEXAS. EASEMENT PROPERTY DESCRIBED IN SAID DOCUMENT IS INCOMPLETE. EASEMENT PERTAINS TO AND IS FOR THE BENEFIT OF THE OWNER/RESERVOR. NO WIDTH SPECIFIED FOR EASEMENT. THE ACTUAL EASEMENT BOUNDARY IS NOT DESCRIBED, BUT IS WITHIN THE EASEMENT PROPERTY WHICH IS INCOMPLETE. EASEMENT MAY BE REVOKED OR AMENDED BY OWNER/ RESERVOR AND IS EXCLUSIVE.
13. ALL INTERIOR LOT CORNERS WILL HAVE A NO.4 REBAR SET WITH PLASTIC CAP STAMPED MELDEN & HUNT, INC.
14. ★ DENOTES CURVED SETBACK.
15. DEVELOPER / TRES LAGOS (PID) PRIVATE IMPROVEMENT DISTRICT / OWNER, THEIR SUCCESSORS AND ASSIGNEES AND NOT THE CITY OF MCALLEN SHALL BE RESPONSIBLE FOR COMPLIANCE OF INSTALLATION AND MAINTENANCE AND OTHER REQUIREMENTS PER SECTION 134-168 OF THE SUBDIVISION ORDINANCE, INCLUDING BUT NOT LIMITED TO COMMON AREAS AND ITS PRIVATE STREETS.
16. 25 FEET x 25 FEET SIGHT OBSTRUCTION EASEMENT REQUIRED AT ALL STREET INTERSECTIONS.
17. A CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED BY THE CITY OF MCALLEN FOR ANY STRUCTURE BUILT ON A LOT IDENTIFIED ON THIS PLAT UNTIL ALL INFRASTRUCTURE REQUIRED TO SERVE THE LOT HAS BEEN INSTALLED, INSPECTED, AND APPROVED BY THE APPROPRIATE AUTHORITY.
18. CITY OF MCALLEN ACTING BY AND THROUGH THE PUBLIC IMPROVEMENT DISTRICT (PID) DEDICATES A WALL EASEMENT FOR THE CONSTRUCTION, MAINTENANCE, REPAIR, REMOVAL, REPLACEMENT, AND OPERATION OF MASONRY WALLS PROVIDING ACCESS CONTROL AND SOUND BUFFERING WITHIN THE PID.
19. UNITED IRRIGATION DISTRICT NOTES:
 - ALL IRRIGATION EASEMENTS ARE EXCLUSIVE TO UNITED IRRIGATION DISTRICT, AND THE DISTRICT ALLOWS NO OTHER UTILITIES OR OUTSIDE USE WITHOUT ITS EXPRESS WRITTEN APPROVAL.
 - NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CROSS ABOVE OR BELOW GROUND ANY IRRIGATION DISTRICT EASEMENT OR RIGHT OF WAY WITH LINES, POLES, OPEN DITCHES OR OTHER USE WITHOUT FIRST OBTAINING A CROSSING PERMIT FROM UNITED IRRIGATION DISTRICT.
 - NO PERMANENT STRUCTURE, UTILITY POLE, HOLE, WALL, FENCE, DRIVEWAY, OR ROAD WILL BE ALLOWED TO BE CONSTRUCTED OR EXIST ON ANY DISTRICT EASEMENT OR RIGHT OF WAY WITHOUT WRITTEN APPROVAL BY IRRIGATION DISTRICT. ANY UNAUTHORIZED STRUCTURE WITHIN THE EASEMENT BOUNDARY IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATOR'S EXPENSE.
 - NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CONNECT TO ANY DISTRICT FACILITY WITHOUT FIRST OBTAINING A PERMIT FROM IRRIGATION DISTRICT. ANY CONNECTION NOT AUTHORIZED BY THE DISTRICT IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATOR'S EXPENSE.
20. NOTE FOR MAINTENANCE UNDER SECTION 110-72 & 134-168 CITY OF MCALLEN CODE OF ORDINANCES: THE CITY OF MCALLEN SHALL ONLY BE RESPONSIBLE FOR MAINTAINING THOSE IMPROVEMENTS WHICH HAVE BEEN SPECIFICALLY DEDICATED TO AND ACCEPTED BY THE CITY FOR MAINTENANCE. SUCH MAINTENANCE SHALL BE PERFORMED BY AND BE THE SOLE RESPONSIBILITY OF THE TRES LAGOS PUBLIC IMPROVEMENT DISTRICT FOR THOSE IMPROVEMENTS OR RIGHT OF WAYS DEDICATED TO THE CITY ACTING BY AND THROUGH SUCH DISTRICT. PURSUANT TO SECTION 110-72 OF THE CITY OF MCALLEN CODE OF ORDINANCES MAINTENANCE OF AREAS WHICH HAVE NOT BEEN DEDICATED TO AND ACCEPTED FOR MAINTENANCE BY THE CITY SUCH AS UNDEDICATED COMMON AREAS, AREAS NOT INCLUDED IN SPECIFIC LOTS, AND THOSE AREAS ADJACENT TO THE SUBDIVISION AND THAT ARE UNIMPROVED AND U/E BETWEEN THE SUBDIVISION AND ADJACENT PAVED PUBLIC STREETS (THE "UNDEDICATED COMMON AREAS") SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/HOMEOWNER'S ASSOCIATION/OWNERS, THEIR SUCCESSORS AND/OR ASSIGNEES AS PER DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS FOR ESTANCIA AT TRES LAGOS PHASE II SUBDIVISION, RECORDED AS DOCUMENT NUMBER _____, AND THE MASTER DECLARATION OF COVENANTS AND CONDITIONS FOR TRES LAGOS RESIDENTIAL DEVELOPMENT RECORDED AS DOCUMENT NUMBER 2821589, HIDALGO COUNTY, DEED RECORDS (COLLECTIVELY THE "DECLARATIONS"), PURSUANT TO SECTION 134-168 OF THE CITY OF MCALLEN CODE OF ORDINANCES MAINTENANCE OF ANY PRIVATE STREETS, PRIVATE STREET LIGHTING, PRIVATE TRAFFIC CONTROL DEVICES AND PRIVATE SIDEWALKS AND PRIVATE COMMON AREAS OF THE SUBDIVISION WHICH HAVE NOT BEEN DEDICATED TO AND ACCEPTED FOR MAINTENANCE BY THE TRES LAGOS PUBLIC IMPROVEMENT DISTRICT (THE "PRIVATE COMMON AREAS") SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER/DEVELOPER/OWNER OR THE HOMEOWNER'S ASSOCIATION PURSUANT TO THE REQUIREMENTS OF SECTION 134-168, AS APPLICABLE. THE CITY OF MCALLEN SHALL NOT BE RESPONSIBLE FOR THE MAINTENANCE OF SAID UNDEDICATED COMMON AREAS OR PRIVATE COMMON AREAS. ANY AMENDMENT TO THE DECLARATIONS THAT CONFLICTS WITH THE REQUIREMENTS OF SAID SECTION 110-72 OR SECTION 134-168 SHALL BE NULL AND VOID.
21. AS PER DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS FOR ESTANCIA AT TRES LAGOS PHASE II SUBDIVISION, RECORDED AS DOCUMENT NUMBER _____, AND THE MASTER DECLARATION OF COVENANTS AND CONDITIONS FOR TRES LAGOS RESIDENTIAL DEVELOPMENT RECORDED AS DOCUMENT NUMBER 2821589, HIDALGO COUNTY DEED RECORDS, DEVELOPER/HOMEOWNER'S ASSOCIATION/OWNERS, THEIR SUCCESSORS AND/OR ASSIGNEES, AND NOT THE CITY OF MCALLEN SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND OTHER REQUIREMENTS AS PER SECTION 134-168 OF THE CODE OF ORDINANCES OF THE CITY OF MCALLEN, INCLUDING BUT NOT LIMITED TO COMMON AREAS AND STREETS. ANY AMENDMENT TO THE DECLARATION THAT CONFLICTS WITH THE REQUIREMENTS OF SECTION 134-168, SHALL BE NULL AND VOID.

SUBDIVISION MAP OF
ESTANCIA AT TRES LAGOS PHASE III
SUBDIVISION

(PRIVATE SUBDIVISION)
BEING A SUBDIVISION OF 27.970 ACRES OUT OF SECTION 232,
TEXAS-MEXICAN RAILWAY COMPANY SURVEY
ACCORDING TO THE PATENT ISSUED BY THE STATE OF TEXAS,
RECORDED IN VOLUME 4, PAGES 142-143, H.C.D.R.,
CITY OF MCALLEN, HIDALGO COUNTY, TEXAS

I, SHERILYN DAHLBERG, HEREBY CERTIFY THAT SHARYLAND WATER SUPPLY CORPORATION HAS APPROVED THE POTABLE WATER INFRASTRUCTURE FOR THE ESTANCIA AT TRES LAGOS PHASE III SUBDIVISION LOCATED IN HIDALGO COUNTY, TEXAS, SUBJECT TO THE POTABLE WATER SYSTEM MEETING THE APPROVAL OF THE DESIGN ENGINEER AND ALL APPLICABLE RULES AND REGULATIONS OF SHARYLAND WATER SUPPLY CORPORATION, AND LOCAL, STATE, AND FEDERAL AGENCIES.

DEVELOPER AND DESIGN ENGINEER SHALL BEAR FULL RESPONSIBILITY TO ENSURE THAT THE ABOVE REFERENCED POTABLE WATER INFRASTRUCTURE IS CONSTRUCTED WITHIN THE DESIGNATED SHARYLAND WATER SUPPLY CORPORATION EASEMENT.

DATE
SHERILYN DAHLBERG
GENERAL MANAGER
SHARYLAND WATER SUPPLY CORPORATION

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO.1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE §48.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO.1

DATE
RAUL E. SESIN, P.E., C.F.M.
GENERAL MANAGER

THIS PLAT IS HEREBY APPROVED BY UNITED IRRIGATION DISTRICT
ON THIS THE ____ DAY OF _____, 20____.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION TREES, FENCES AND BUILDINGS) SHALL BE PLACED UPON UNITED IRRIGATION DISTRICT RIGHTS OF WAYS OR EASEMENTS. APPROVAL OF THIS PLAT DOES NOT RELEASE ANY RIGHTS THAT THE DISTRICT MAY HAVE WHETHER SHOWN OR NOT.

ATTEST: PRESIDENT SECRETARY

STATE OF TEXAS
COUNTY OF TEXAS

I (WE), THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE ESTANCIA AT TRES LAGOS PHASE III SUBDIVISION TO THE CITY OF MCALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HEREBY DEDICATES: (a) ALL STREET RIGHT OF WAYS IDENTIFIED AS "PID STREET" ON THE ABOVE PLAT TOGETHER WITH ALL STREET IMPROVEMENTS LOCATED THEREIN TO THE CITY OF MCALLEN ACTING BY AND THROUGH THE TRES LAGOS PUBLIC IMPROVEMENT DISTRICT, AN IMPROVEMENT DISTRICT CREATED BY THE CITY OF MCALLEN, TEXAS, PURSUANT TO CHAPTER 372, TEXAS LOCAL GOVERNMENT CODE (THE "PID"), AND THE PID IN ACCEPTING SUCH DEDICATION AGREES THAT IT SHALL BE RESPONSIBLE FOR ALL MAINTENANCE OF SUCH PID STREETS WITH THE COST OF SUCH MAINTENANCE BEING PAID FROM THE ASSESSMENTS FOR MAINTENANCE LEVIED BY THE PID AGAINST THE PROPERTIES BENEFITED BY AND UTILIZING SAID PID STREETS; (b) TO THE USE OF THE PUBLIC ALL PUBLIC STREETS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE) WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF MCALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF MCALLEN

DATE:
RHODES DEVELOPMENT, INC.
NICK RHODES, PRESIDENT
200 S. 10TH ST., STE. 1700
MCALLEN, TEXAS 78501
HIDALGO COUNTY, TEXAS

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____, NICK RHODES, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE ____ DAY OF _____, 20____.

NOTARY PUBLIC, HIDALGO COUNTY, TEXAS
MY COMMISSION EXPIRES:

TRES LAGOS PUBLIC IMPROVEMENT DISTRICT HEREBY CERTIFIES AND APPROVES THIS PLAT AND ACCEPTS RESPONSIBILITIES AND NOTES INDICATED HEREIN

MIKE RHODES, CHAIRMAN OF PUBLIC IMPROVEMENT DISTRICT
200 S. 10TH ST., STE. 1700
MCALLEN, TEXAS 78501
HIDALGO COUNTY, TEXAS

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____, MIKE RHODES, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE ____ DAY OF _____, 20____.

NOTARY PUBLIC, HIDALGO COUNTY, TEXAS
MY COMMISSION EXPIRES:

I, THE UNDERSIGNED, FRED L. KURTH, A LICENSED PROFESSIONAL ENGINEER AND REGISTERED PROFESSIONAL LAND SURVEYOR, IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT AND IS A TRUE AND ACCURATE REPRESENTATION OF THE SUBDIVISION OF THE LANDS HEREON DESCRIBED.

DATE:
FRED L. KURTH, P.E. # 54151 R.P.L.S. # 4750
DATE SURVEYED: 11/12/21
DATE PREPARED: 11/15/21
ENGINEERING JOB NO. 21216.00
SURVEY JOB NO. 21216.08



I, THE UNDERSIGNED, MAYOR OF THE CITY OF MCALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF MCALLEN

ATTESTED BY:

CITY SECRETARY

DATE

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF MCALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING COMMISSION

DATE



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUAJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT: _____ AM/PM

INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

SHEET 1 OF 2

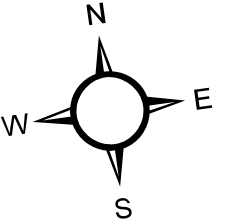


MELDEN & HUNT, INC.
CONSULTANTS • ENGINEERS • SURVEYORS

115 W. MCINTYRE - EDINBURG, TX 78541
PH: (956) 381-0881 - FAX: (956) 381-1839
ESTABLISHED 1947 - www.meldenandhunt.com

DRAWN BY: _____ R.N. _____ DATE: 11-15-21
INSTRUMENT NUMBER _____ DATE: _____
FINAL CHECK _____ DATE: _____

ESTANCIA AT TRES LAGOS PHASE III



Legend

- Proposed Clean-Out
- 🚒 Proposed Fire Hydrant
- Existing Manhole
- ⊙ Proposed Manholes
- Proposed Re-Use Line
- Proposed Sewer Line
- 🚒 Existing Fire Hydrants
- ▨ Proposed Area
- Existing Sewer-Line
- Existing Waterline



AGENDA ITEM

4.i.

PUBLIC UTILITY BOARD

DATE SUBMITTED

02/11/2022

MEETING DATE

2/15/2022

1. Agenda Item: Discussion and Approval of the North Park on 107 Subdivision.

**2. Party Making Request:
Rafael Balderas Jr.**

3. Nature of Request: Request of MPU Board approval from the developer of the proposed subdivision.

4. Budgeted:

Bid Amount: _____
Under Budget: _____

Budgeted Amount: _____
Over Budget: _____
Amount Remaining: _____

5. Reimbursement: N/A.

6. Routing:
Rafael Balderas Jr. Created/Initiated - 2/11/2022

7. Staff's Recommendation: Staff recommends approval of the proposed subdivision with the conditions set forth.

8. City Attorney: Approved. IJT

9. MPU General Manager: Approved - MAV

10. Director of Finance for Utilities: Approved - MDC

Memo

TO: Marco A. Vega, P.E., General Manager
J.J. Rodriguez, Asst. General Manager
THRU: Carlos Gonzalez, P.E., Utility Engineer
FROM: Rafael A. Balderas, E.I.T., Asst. to the Utility Engineer
DATE: February 8, 2022
SUBJECT: North Park on 107 Subdivision; Consideration & Approval of Subdivision

This property is located on the south side of State Highway 107 and approximately 800 feet west of the 23rd Street. It is located within the McAllen City Limits and is being proposed as R-3A residential. The tract consists of 18.239 acres and will be 93 lots for single family homes.

The subdivision application was originally filed with the City on January 26, 2021 and has received preliminary P&Z approval on February 16, 2021. The information required from the developer's engineer for this agenda was received on February 2, 2022.

Utility plan/availability is described as follows:

1. **Water Service:** The applicant is proposing to install an 8-inch waterline to service the property, which would connect to an existing 8-inch waterline along 23rd Street and an existing waterline along the new Bicentennial Boulevard to have a two sourced looped system. Staff would request the waterline go to-and-through.
2. **Sewer Service:** The applicant is proposing to install an internal sewer collection system within the subdivision that will be comprised of a minimum 8" Sewerline. A single north-south line (from SH 107 – south property line) will be asked to be upsized to up to 15" diameter to accommodate a future service area to the north. The developer is proposing two (2) options for conveying the sewerline off-site. Option 1 would convey sewer generally straight south to Sprague Road. Option 2 would convey flows east across 23rd. Both options are illustrated in attached aerial exhibits. Factors that will be considered in selecting option include the ability to acquire the necessary Utility Easements.
3. This property will not be assessed any utility reimbursements.

Staff recommends MPUB approval of the subdivision application as proposed subject to the following: 1.) Dedication of a utility easement, possibly along the perimeter of the property, and along all proposed utility corridors including off-site; and 2.) Installation of the proposed public utility infrastructure be constructed as determined by staff.

I'll be available for further discussion/questions at the MPUB meeting.



TREVIÑO
ENGINEERING
Firm Registration # F-7906

February 01, 2022

City of McAllen
McAllen Public Utilities
1300 Houston Ave.
McAllen, Texas 78501

**Re: Water and Sanitary Sewer Narrative of North Park on 107 Subdivision,
McAllen Texas**

An 18.239-acre tract of land, more or less, being a portion out of the west one-half (1/2) of lot 11, section 280, Texas-Mexican railway company's survey, as per the map or plat thereof recorded in volume 24, page 168, deed records of Hidalgo County, Texas.

Water.

To the north and east of the subdivision.

The City of McAllen has an existing 12-inch diameter water line on the west side of N. Bicentennial Blvd. and State Highway 107 intersection.

A new 8-inch diameter waterline is proposed to connect into the existing 12-inch diameter waterline located on the west side of N. Bicentennial Blvd. The proposed waterline will run north onto the south side of State Highway 107 then run east along the side of the north State Highway 107 up to the west side of N. Bicentennial approximately 3500 ft.

For the proposed water lines, there will be ten (10) fire hydrants.

To the south and east of the subdivision.

The City of McAllen has an existing 6-inch diameter water line on the east side of 23rd St.

A new 8-inch diameter water line is proposed from the southeast corner of the subdivision and run east approximately 620.00 ft to the east side of 23rd St.

For the proposed water lines, there will be one (1) fire hydrants.

The connection to N. Bicentennial Blvd. through the subdivision and the connection to 23rd St will create a loop for the water line system.



TREVINO
ENGINEERING
Firm Registration # F-7906

Sanitary Sewer.

The City of McAllen has an existing sanitary sewer manhole located on Sprague Rd. near the southwest corner of City of McAllen Waste Water Treatment Plan No. 2.

A new 8-inch diameter sanitary sewer line is proposed to run east to 23rd St. approximately 640.00 feet from the southeast corner of the subdivision. A new 8-inch diameter sanitary sewer line will run south along the west side of 23rd street, approximately 220.00 ft. From there, a new 8-inch diameter sanitary sewer line will cross and run east approximately 640.00 ft. reaching the west side property line a City of McAllen Waste Water Treatment Plan No. 2. Finally, a new 8-inch diameter sanitary sewer line will run south approximately 1,090 ft. and connect to the existing manhole located near the southwest corner of City of McAllen Waste Water Treatment Plan No. 2.

The proposed 8-inch lines will be connected with a total of eleven (11) manholes.

See attached plans for reference.

Should you have any questions, feel free to contact me at my office.

Sincerely,

TREVINO ENGINEERING

Iden I. Trevino, P.E.



02/01/2022

REIMBURSEMENT WAIVER

STATE OF TEXAS X

COUNTY OF HIDALGO X

THIS CERTIFICATE, issued by the McAllen Public Utility (MPUB), as authorized by such Board of Trustees, hereinafter called the MPUB to URBAN CITY DEVELOPERS hereinafter called the DEVELOPER.

1. The DEVELOPER is the developer of the following described property:

NORTH PARK ON 107 SUBDIVISION and proposes to construct Utility Improvements as shown on a plan
(Subdivision Name)

designed by TREVINO ENGINEERING dated 01/31/2022, hereinafter called the
(Engineering Firm)

IMPROVEMENTS, as approved by the McAllen Public Utility Board on 02/15/2022.
(Approval date)

2. By the execution of this certificate, the Developer hereby waives and disclaims the right to obtain reimbursement from Intervening Developers in accordance with the MPUB's Reimbursement Policy.

ISSUED in triplicate originals this _____ day of _____, 202_.

CITY OF McALLEN BY THE
McALLEN PUBLIC UTILITY

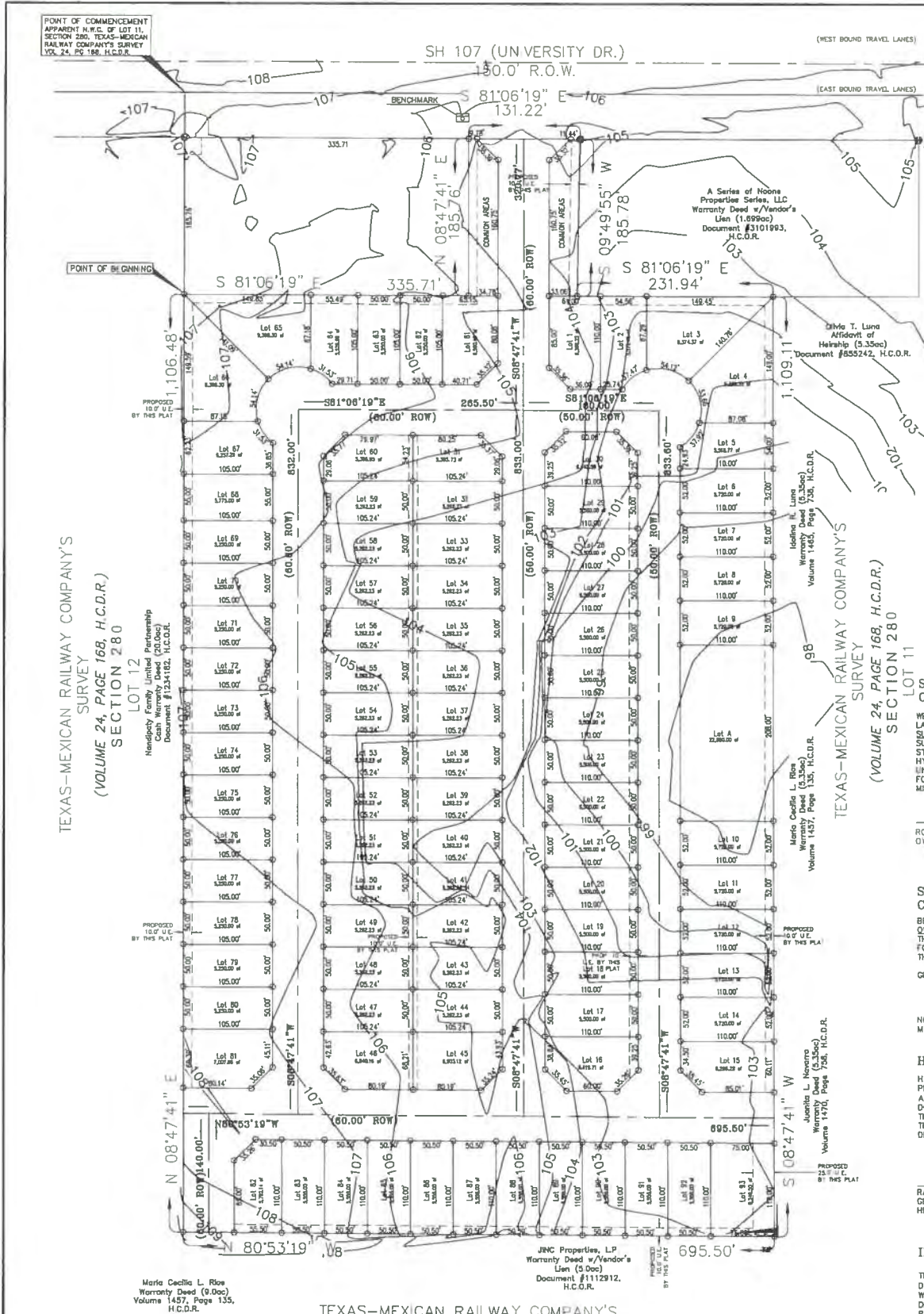
BY: _____
Mark Vega, P.E.
General Manager, McAllen Public Utility
Post Office Box 220
McAllen, Texas 78505-0220
(956) 681-1630

ATTEST:

Board Secretary

DEVELOPER

BY: _____
Address: _____



METES AND BOUNDS

AN 18.239-ACRE TRACT OF LAND, MORE OR LESS, BEING A PORTION OUT OF THE WEST ONE-HALF (1/2) OF LOT 11, SECTION 280, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 24, PAGE 168, DEED RECORDS OF HIDALGO COUNTY, TEXAS, IS MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

THE POINT OF COMMENCEMENT BEING AT A POINT ON THE APPARENT EXISTING EASTBOUND TRAVEL LANE CENTERLINE OF SH 107, AND ON APPARENT NORTH LOT LINE OF SAID LOT 11, SECTION 280 FOR THE APPARENT NORTHWEST CORNER OF SAID LOT 11, THENCE, SOUTH 08 DEGREES 47 MINUTES 41 SECONDS WEST, WITH THE APPARENT WEST LOT LINE OF SAID LOT 11, A DISTANCE OF 53.27 FEET TO A ONE-HALF INCH IRON PIPE FOUND ON THE APPARENT EXISTING SOUTH-BOUND-OF-WAY LINE OF SH 107, CONTINUING FOR A TOTAL DISTANCE OF 239.03 FEET TO A NO. 4 REBAR SET WITH PLASTIC CAP STAMPED 2791 FOR THE APPARENT SOUTHWEST CORNER OF A 1.699-ACRE TRACT AND WESTERMOST NORTHWEST CORNER OF SAID 18.239-ACRE TRACT AND FOR THE POINT OF BEGINNING OF SAID 18.239-ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, SOUTH 81 DEGREES 06 MINUTES 19 SECONDS EAST, PARALLEL TO THE SAID NORTH LOT LINE OF SAID LOT 11, AND WITH APPARENT ADJOINING SOUTH LOT LINE OF SAID 1.699-ACRE TRACT AND THE WESTERMOST NORTH LOT LINE OF SAID 18.239-ACRE TRACT, A DISTANCE OF 335.71 FEET TO A NO. 4 REBAR SET WITH PLASTIC CAP STAMPED 2791 FOR THE APPARENT SOUTHWEST CORNER OF SAID 1.699-ACRE TRACT AND AN INTERNAL CORNER OF SAID 18.239-ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, NORTH 08 DEGREES 47 MINUTES 41 SECONDS EAST, PARALLEL TO THE SAID NORTH LOT LINE OF SAID LOT 11, AND WITH THE APPARENT ADJOINING EAST LOT LINE OF SAID 1.699-ACRE TRACT AND THE EASTERMOST WEST LOT LINE OF SAID 18.239-ACRE TRACT, A DISTANCE OF 185.76 FEET TO A NO. 4 REBAR SET WITH PLASTIC CAP STAMPED 2791 FOR THE APPARENT NORTHEAST CORNER OF SAID 1.699-ACRE TRACT AND THE NORTHERMOST NORTHWEST CORNER OF SAID 18.239-ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, SOUTH 09 DEGREES 49 MINUTES 55 SECONDS WEST, WITH THE APPARENT ADJOINING WEST LOT LINE OF SAID 1.699-ACRE TRACT AND THE WESTERMOST EAST LOT LINE OF SAID 18.239-ACRE TRACT, A DISTANCE OF 185.78 FEET TO A NO. 4 REBAR SET WITH PLASTIC CAP STAMPED 2791 FOR THE APPARENT SOUTHWEST CORNER OF SAID 1.699-ACRE TRACT AND AN INTERNAL CORNER OF SAID 18.239-ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, SOUTH 81 DEGREES 06 MINUTES 19 SECONDS EAST, PARALLEL TO THE SAID NORTH LOT LINE OF SAID LOT 11, AND WITH THE APPARENT ADJOINING SOUTH LOT LINE OF SAID 1.699-ACRE TRACT AND THE EASTERMOST NORTH LOT LINE OF SAID 18.239-ACRE TRACT, A DISTANCE OF 335.71 FEET TO A NO. 4 REBAR SET WITH PLASTIC CAP STAMPED 2791 FOR THE APPARENT SOUTHWEST CORNER OF SAID 1.699-ACRE TRACT AND AN INTERNAL CORNER OF SAID 18.239-ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, SOUTH 09 DEGREES 49 MINUTES 55 SECONDS WEST, WITH THE APPARENT ADJOINING WEST LOT LINE OF SAID 1.699-ACRE TRACT AND THE WESTERMOST EAST LOT LINE OF SAID 18.239-ACRE TRACT, A DISTANCE OF 185.78 FEET TO A NO. 4 REBAR SET WITH PLASTIC CAP STAMPED 2791 FOR THE APPARENT SOUTHWEST CORNER OF SAID 1.699-ACRE TRACT AND AN INTERNAL CORNER OF SAID 18.239-ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, SOUTH 08 DEGREES 47 MINUTES 41 SECONDS WEST, WITH THE APPARENT ADJOINING WESTERMOST WEST LOT LINE OF SAID 5.35-ACRE TRACT AND THE EASTERMOST EAST LOT LINE OF SAID 18.239-ACRE TRACT, AND CONTINUING WITH THE FOLLOWING APPARENT ADJOINING WEST LOT LINES OF A 5.35-ACRE TRACT OF LAND VESTED IN IDOLINA R. LUNA (VOLUME 1465, PAGE 738, DEED RECORDS, HIDALGO COUNTY, TEXAS), AND A 5.35-ACRE TRACT OF LAND VESTED IN MARIA CECILIA L. RIOS (VOLUME 1457, PAGE 135, DEED RECORDS, HIDALGO COUNTY, TEXAS), AND A 5.35-ACRE TRACT OF LAND VESTED IN JUANITA L. NAVARRO (VOLUME 1470, PAGE 758, DEED RECORDS, HIDALGO COUNTY, TEXAS), A TOTAL DISTANCE OF 1,109.11 FEET TO A NO. 4 REBAR SET WITH PLASTIC CAP STAMPED 2791 ON THE APPARENT NORTH LOT LINE OF A 5.0-ACRE TRACT OF LAND VESTED IN JNC PROPERTIES, L.P. (DOCUMENT #1112912, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS) FOR THE APPARENT SOUTHWEST CORNER OF SAID 5.35-ACRE TRACT OF LAND VESTED IN JUANITA L. NAVARRO AND THE SOUTHEAST CORNER OF SAID 18.239-ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, NORTH 08 DEGREES 47 MINUTES 41 SECONDS WEST, WITH THE APPARENT SOUTH LOT LINE OF SAID LOT 11 AND OF SAID 18.239-ACRE TRACT, AND THE APPARENT ADJOINING NORTH LOT LINE OF SAID 5.0-ACRE TRACT OF LAND VESTED IN JNC PROPERTIES, L.P., A DISTANCE OF 695.50 FEET TO A NO. 4 REBAR SET WITH PLASTIC CAP STAMPED 2791 FOR THE APPARENT SOUTHWEST CORNER OF A 20.0-ACRE TRACT OF LAND VESTED IN NANOPIPTY FAMILY LIMITED PARTNERSHIP (DOCUMENT #234182, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS) AND THE SOUTHWEST CORNER OF SAID LOT 11 AND OF SAID 18.239-ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, NORTH 08 DEGREES 47 MINUTES 41 SECONDS EAST, WITH THE APPARENT WEST LOT LINE OF SAID LOT 11 AND OF SAID 18.239-ACRE TRACT, AND WITH THE APPARENT ADJOINING EAST LOT LINE OF SAID 20.0-ACRE TRACT, A DISTANCE OF 1,108.47 FEET TO A NO. 4 REBAR SET WITH PLASTIC CAP STAMPED 2791 FOR THE APPARENT WESTERMOST NORTHWEST CORNER OF SAID 18.239-ACRE TRACT OF LAND HEREIN DESCRIBED, AND ALSO BEING THE POINT OF BEGINNING, CONTAINING A GROSS OF 18.239 ACRES OF LAND, MORE OR LESS.

STATE OF TEXAS
COUNTY OF HIDALGO

WE, ROBERT H. BEGIAN, AND MICHELE C. BEGIAN, THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE NORTH PARK ON 107 SUBDIVISION, AN ADDITION TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE THE FEZ TITLE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, SEWER LINES, WATER COURSES, STORM SEWER, FIRE HYDRANTS, AND PUBLIC PLACES WHICH I WILL CAUSE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

ROBERT H. BEGIAN
OWNER

MICHELE C. BEGIAN
OWNER

STATE OF TEXAS
COUNTY OF HIDALGO

I, HOMERO LUIS GUTIERREZ, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND

HOMERO LUIS GUTIERREZ, RPLS # 2791

DATE

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, ON THIS DAY PERSONALLY APPEARED OWNER NAME KNOWN TO ME TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE ____ DAY OF _____, 20__.

NOTARY PUBLIC, HIDALGO COUNTY, TEXAS
MY COMMISSION EXPIRES ON: _____

HIDALGO COUNTY DRAINAGE DISTRICT No. 1

HIDALGO COUNTY DRAINAGE DISTRICT No. 1, HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THE SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 42.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THESE DETERMINATIONS.

RAUL SEM, P.E., CFM
GENERAL MANAGER
HIDALGO COUNTY DRAINAGE DISTRICT No.1

DATE

IRRIGATION DISTRICT No. 1

THIS PLAT IS HEREBY APPROVED BY THE UNITED IRRIGATION DISTRICT ON THIS THE ____ DAY OF _____, 20__ NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION TREES, FENCES AND BUILDINGS) SHALL BE PLACED UPON IRRIGATION DISTRICT NO.1 RIGHT OF WAYS OR EASEMENTS. APPROVAL OF THIS PLAT DOES NOT RELEASE ANY RIGHTS THAT THE DISTRICT MAY HAVE WHETHER SHOWN OR NOT.

PRESIDENT
UNITED IRRIGATION DISTRICT

DATE

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, IDEN I. TREVIÑO, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

IDEN I. TREVIÑO, PE

NO 92036

DATE

CITY OF McALLEN PLANNING & ZONING

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED

CHAIRMAN, PLANNING COMMISSION

DATE

CITY OF McALLEN MAYOR

I, THE UNDERSIGNED, MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS WHEREIN MY APPROVAL IS REQUIRED

MAYOR, CITY OF McALLEN

DATE

CITY SECRETARY

DATE



VICINITY MAP
SCALE: 1:1000

GENERAL NOTES

- FLOOD INSURANCE RATING ZONE, "X" ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR STORM EVENT
NO FIRM MAP AVAILABLE
COMMUNITY PANEL NO. 480334 0325 D
MAP REVISED JUNE 6, 2000
- BENCHMARK = TOP OF STORMWATER TYPE A INLET ALONG SOUTHSIDE OF S.H. 107
ELEVATION = 106.02
BENCHMARK MARKED ON PLAT DRAWING
- MINIMUM BUILDING SETBACKS:
FRONT: 25 FEET OR GREATER FOR EASEMENTS
REAR: 10 FEET EXCEPT 25 FEET FOR DOUBLE FRONTING LOTS OR GREATER FOR EASEMENTS
INTERIOR SIDES: 6 FEET OR GREATER FOR EASEMENT
SIDE: 10 FEET OR GREATER FOR EASEMENT
CORNER: 10 FEET OR GREATER FOR EASEMENT
GARAGE: 18 FEET EXCEPT WHERE GREATER SETBACK IS REQUIRED
- A TOTAL OF 2,679 ACRES FEET (116,704 CUBIC FEET) OF STORM WATER DETENTION IS REQUIRED FOR THIS SUBDIVISION. THIS DETENTION SHALL BE ACCOMPLISHED WITHIN LOT 4 OF THIS SUBDIVISION, LOCATED AT THE MIDDLE EAST SIDE OF THIS SUBDIVISION OF THE PROPERTY THAT HAS A CAPACITY OF 2,481 ACRES FEET (107,244.48 CUBIC FEET).
- ALL LOT CORNER MARKED WITH A 1/2-INCH DIAMETER ROD
- A 4' WIDE MINIMUM SIDEWALK IS REQUIRED ON BOTH SIDES OF ALL INTERIOR STREETS.
- ALL UTILITIES IN THIS SUBDIVISION SHALL BE UNDERGROUND
- A 5' WIDE SIDEWALK IS REQUIRED ALONG STATE HIGHWAY 107 (SH 107)
- OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR MAINTENANCE OF DETENTION PONDS.
- MAINTENANCE OF THE STREETS IS THE RESPONSIBILITY OF THE OWNER/DEVELOPER OR HOMEOWNER'S ASSOCIATION.
- THE CITY OF McALLEN SHALL HAVE A 25' X 25' CORNER CLIP EASEMENT AT ALL INTERIOR STREET INTERSECTIONS.
- SHOULD ANY ENTITIES HAVING AUTHORITY OVER THE RECORDED EASEMENTS DEDICATED HEREIN NEED TO REPAIR, REPLACE, INSTALL, OR IN ANY WAY REQUIRE EXCAVATION ACCESS TO THE LINES THEREIN, THAT ENTITY SHALL HAVE THE RIGHT TO ACCESS THE EASEMENT WHICH MAY CAUSE INCIDENTAL DAMAGE TO PRIVATE IMPROVEMENTS INCLUDING BUT NOT LIMITED TO FENCES, WALLS, SLABS, LANDSCAPING AND PRIVATE IRRIGATION SYSTEMS. OWNER(S) OF PROPERTIES SHALL HOLD HARMLESS AND INDEMNIFY ANY SUCH ENTITY FROM THE DAMAGES AND/OR REPLACEMENT COSTS CAUSED BY NEEDED WORK.
- ALL IRRIGATION DISTRICT EASEMENTS, IF SHOWN, ARE EXCLUSIVE TO UNITED IRRIGATION DISTRICT, AND THE DISTRICT ALLOWS NO OTHER UTILITIES OR OUTSIDE USE WITHOUT IT EXPRESS WRITTEN APPROVAL.
- UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CROSS ABOVE OR BELOW GROUND ANY IRRIGATION DISTRICT EASEMENT OR RIGHT OF WAY WITH LINES, POLES, OPEN DITCHES, OR OTHER USE WITHOUT FIRST OBTAINING A CROSSING PERMIT FROM UNITED IRRIGATION DISTRICT.
- NO PERMANENT STRUCTURE, UTILITY POLE, HOLE, WALL, FENCE, DRIVEWAY OR ROAD WILL BE ALLOWED TO BE CONSTRUCTED OR EXIST ON ANY DISTRICT EASEMENT OR RIGHT OF WAY WITHOUT WRITTEN APPROVAL BY IRRIGATION DISTRICT. ANY UNAUTHORIZED STRUCTURE WITHIN THE EASEMENT BOUNDARY IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATORS EXPENSE.
- NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CONNECT TO ANY DISTRICT EASEMENT WITHOUT FIRST OBTAINING A PERMIT FROM IRRIGATION DISTRICT. ANY CONNECTION NOT AUTHORIZED BY THE DISTRICT IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATORS EXPENSE.
- 8 FOOT OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, AND INDUSTRIAL ZONE/USES.
- 8 FOOT MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL OR MULTI-FAMILY RESIDENTIAL ZONE/USES.
- COMMON AREAS, PRIVATE STREETS/DRIVES, DETENTION AREAS/PONDS, AND/OR GATES MUST BE MAINTAINED BY THE LOT OWNERS AND NOT THE CITY OF McALLEN
- DEVELOPER/HOMEOWNER'S ASSOCIATION/OWNER, THEIR SUCCESSORS AND ASSIGNEES AND NOT THE CITY OF McALLEN SHALL BE RESPONSIBLE FOR COMPLIANCE OF INSTALLATION AND MAINTENANCE AND OTHER REQUIREMENTS PER SECTION 134-168 OF THE SUBDIVISION ORDINANCE, INCLUDING BUT NOT LIMITED TO COMMON AREAS AND ITS PRIVATE STREETS.

NORTH PARK ON 107
SUBDIVISION

93 RESIDENTIAL LOTS

DATE OF PREPARATION: JANUARY, 2022

NO.	SHEET	REVISION	DATE	APPROVED

PRINCIPAL CONTACTS:

NAME
OWNER: ROBERT H. AND MICHELE C. BEGIAN
ENGINEER: IDEN I. TREVIÑO, P.E.
SURVEYOR: HOMERO LUIS GUTIERREZ, RPLS

ADDRESS
200 S. 10TH ST. SUITE 1303
P.O. BOX 548

CITY & ZIP
McALLEN, TEXAS 78501
McALLEN, TEXAS 78505

PHONE
(956) 283-8847
(956) 369-0988

COUNTY CLERK'S RECORDED CERTIFICATE

FILED FOR RECORD IN HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

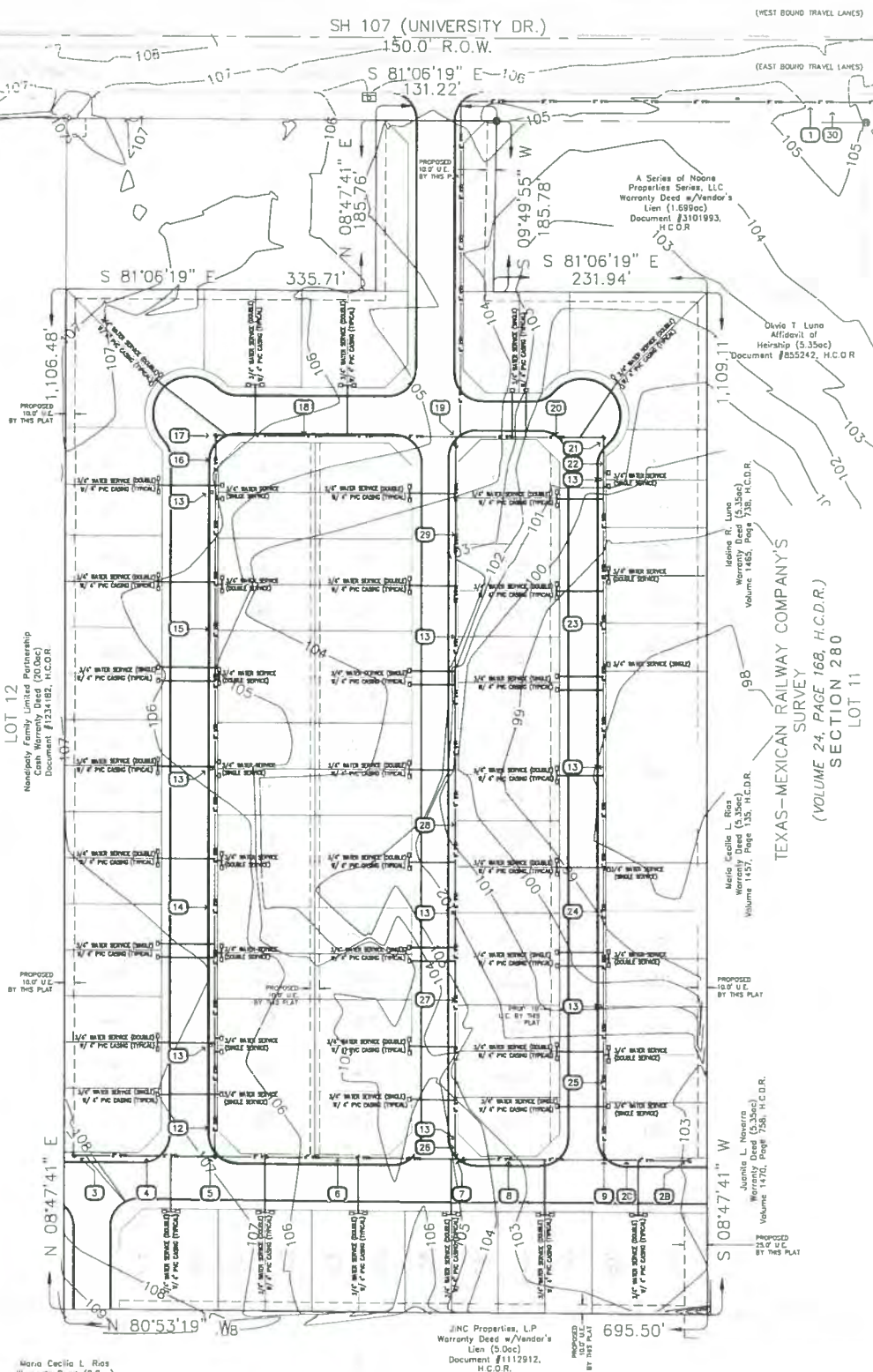
ON _____ AT _____ A.M./P.M.
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY _____ DEPUTY CLERK



TREVIÑO ENGINEERING

FIRM No. F-7906
TEL No. (956) 283-8847
200 S. 10th St. Ste. 1303
McAllen, Texas 78501
ident@trevinoengineering.com

TEXAS-MEXICAN RAILWAY COMPANY'S
SURVEY
(VOLUME 24, PAGE 168, H.C.D.R.)
SECTION 280
LOT 12



Maria Cecilia L. Rios
Warranty Deed (5.35cc)
Document #112912,
H.C.D.R.

TEXAS-MEXICAN RAILWAY COMPANY'S
SURVEY
(VOLUME 24, PAGE 168, H.C.D.R.)
SECTION 280
LOT 14



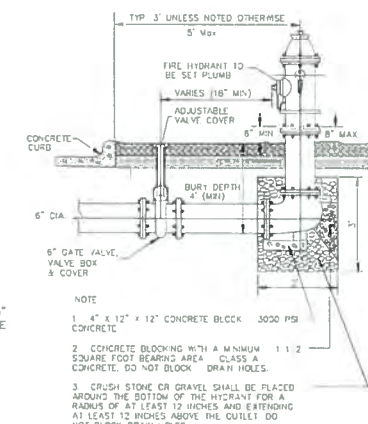
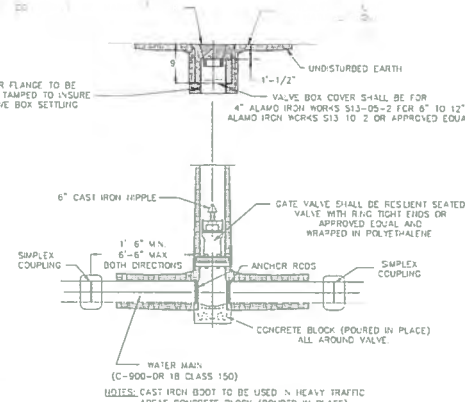
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LEGEND

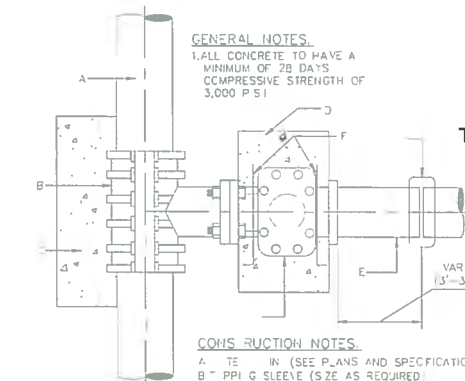
UTILITY PLAN
WATER DISTRIBUTION KEYNOTES

- 1 EXISTING 2" WATER LINE - CITY OF McALLEN
- 2 NOT USED
- 2B PROPOSED 1" 8" FLUSH VALVE
- 2C PROPOSED 8" PVC WATER DISTRIBUTION LINE ~ 90.50 LF
- 3 PROPOSED 8" FLUSH VALVE AT END OF WATER LINE
- 4 PROPOSED 8" PVC WATER DISTRIBUTION LINE ~ 147.00 LF
- 5 PROPOSED 1" 8" PVC TEE
- 6 PROPOSED 8" PVC WATER DISTRIBUTION LINE ~ 258.40 LF
- 7 PROPOSED 1" 8" PVC TEE
- 8 PROPOSED 8" PVC WATER DISTRIBUTION LINE ~ 160.00 LF
- 9 PROPOSED 1" 8" PVC TEE
- 10 NOT USED
- 11 NOT USED
- 12 PROPOSED 8" PVC WATER DISTRIBUTION LINE ~ 118.50 LF
- 13 PROPOSED COMPLETE FIRE HYDRANT ASSEMBLY WITH 8" X 6" TAP AND 6" VALVE. BOTTOM FLANGE ELEVATION SHALL BE NOT LESS THAN 6" ABOVE THE TOP OF CURB ELEVATION
- 14 PROPOSED 8" PVC WATER DISTRIBUTION LINE ~ 300.00 LF
- 15 PROPOSED 8" PVC WATER DISTRIBUTION LINE ~ 300.00 LF
- 16 PROPOSED 8" PVC WATER DISTRIBUTION LINE ~ 60.00 LF
- 17 PROPOSED 1" 8" PVC 90° ELBOW
- 18 PROPOSED 8" PVC WATER DISTRIBUTION LINE ~ 258.00 LF
- 19 PROPOSED 1" 8" PVC TEE
- 20 PROPOSED 8" PVC WATER DISTRIBUTION LINE ~ 160.00 LF
- 21 PROPOSED 1" 8" PVC 90° ELBOW
- 22 PROPOSED 8" PVC WATER DISTRIBUTION LINE ~ 45.70 LF
- 23 PROPOSED 8" PVC WATER DISTRIBUTION LINE ~ 312.00 LF
- 24 PROPOSED 8" PVC WATER DISTRIBUTION LINE ~ 260.00 LF
- 25 PROPOSED 8" PVC WATER DISTRIBUTION LINE ~ 166.50 LF
- 26 PROPOSED 8" PVC WATER DISTRIBUTION LINE ~ 23.25 LF
- 27 PROPOSED 8" PVC WATER DISTRIBUTION LINE ~ 243.50 LF
- 28 PROPOSED 8" PVC WATER DISTRIBUTION LINE ~ 300.00 LF
- 29 PROPOSED 8" PVC WATER DISTRIBUTION LINE ~ 216.75 LF
- 30 PROPOSED 8" PVC WATER DISTRIBUTION LINE PART OF OFF SITE IMPROVEMENTS (PART OF NORTH ON PARK 107 OFFSITE IMPROVEMENTS CONSTRUCTION SET - NOT PART OF THIS SET)

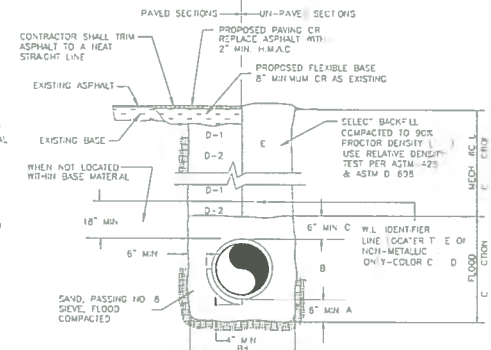
TYPICAL GATE VALVE
AND BOX DETAIL
Not to Scale



TYPICAL FIRE HYDRANT
INSTALLATION DETAIL
Not to Scale

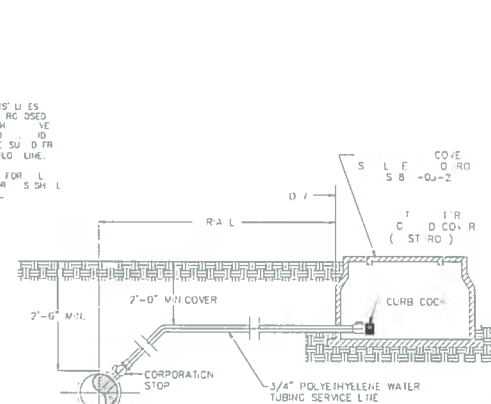


WATER TAPPING SLEEVE
& VALVE INSTALLATION
Not to Scale



A. SAND BEDDING PLACED BEFORE PIPE IS LAID UP TO FLOW LINE OF PIPE (MIN. THICK 6")
B. SAND BACKFILL PLACED AFTER PIPE IS LAID FROM BOTTOM OF PIPE TO SPRING LINE OF PIPE (4" LIFTS, HAND TAMPED) BY TRENCH WIDTHS SHALL BE PIPE O.D. + 12" OR IN ACCORDANCE WITH ASTM 2321 FOR PVC PIPE
C. SAND BACKFILL PLACED FROM SPRING LINE OF PIPE TO 6" ABOVE TOP OF PIPE (6" LIFTS, HAND TAMPED)
D-1. (CITY STREETS, PARKING AREA) SELECT EXCAVATED BACKFILL MATERIAL COMPACTED TO 90% (5' LIFTS, MECHANICAL COMPACTION)
D-2. (STATE MAINTAINED ROADWAY) COMPACTED SAND/CEMENT STABILIZED BACKFILL WITH PORTLAND CEMENT COMPACTED AS PER ASTM D-1557 AND ASTM D-1558
E. SELECT EARTH BACKFILL COMPACTED TO 90% STD (12" LIFTS, MECHANICAL COMPACTION) FOUNDATION PREPARATION (WELLS, TRENCHES, ETC.) SHALL BE REQUIRED TO APPROVE SUBSTITUTES SHALL BE REQUIRED WHEN TRENCH BOTTOM IS UNSTABLE. BACKFILLING AT STRUCTURES SHALL BE PLACED IN UNIFORM LAYERS, VIBRATED AS REQUIRED TO APPROX. 100% DENSITY TEST PER ASTM C-423 & ASTM D-1558. THE THICKNESS OF EACH LAYER SHALL NOT EXCEED 8". STRUCTURE BACKFILL MATERIAL SHALL BE SAND, APPROVED S.T. SOIL, OR OTHER APPROVED SUBSTITUTE.
NOTE: SHOULD A CONFLICT BETWEEN THIS STANDARD AND THE RECOMMENDATION OF ANY GEOTECHNICAL REPORT ARISE, WRITTEN APPROVAL MUST BE RECEIVED BY CONTRACTOR THE CITY. CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF EITHER

WATER LINE BEDDING
TYPICAL DETAIL
Not to Scale



CONSTRUCTION NOTES:
A. WATER VALVE COVER
B. CURB COCK
C. METER BOX & METER PROVIDED
D. WATER TAPPING SERVICE LINE
E. CORPORATION STOP
F. WATER MAIN
NOTES:
1. ALL SERVICE CONNECTIONS HAVE A MIN. 2'-0" COVE FINISHED GRADE.
2. WATER METER COVER SHALL HAVE A MIN. 12" CLEARANCE FROM FINISHED GRADE.
3. ALL WATER MAINS HAVE 12" OF COVER FROM FINISHED GRADE.
4. METER BOX SHALL BE CONCRETE, 18" DIA. & HAVE 12" OF COVER FROM FINISHED GRADE.
5. 2" GATE VALVE ONLY FOR LINE SIZES 1" OR LARGER.
6. POLYETHYLENE TUBING FOR LINE SIZES 1" OR LARGER SCHEDULE 40 PVC EQUIV. LINE SERVICES GREATER THAN 12" SIZES.

TYPICAL WATER SERVICE CONNECTION
WITH METER BOX
Not to Scale



PROJECT: NORTH PARK ON 107 SUBDIVISION

PROJECT # 1901192022

ISSUE DATE: 8/2/2021

DRAWN BY: DRAFTSMAN

CHECKED BY: ENGINEER

REVISION: 1. 2. 3.

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trevinoengineering.com
trevinoe@gmail.com

TREVIÑO ENGINEERING
FIRM No. F-7906

CITY OF McALLEN, TEXAS

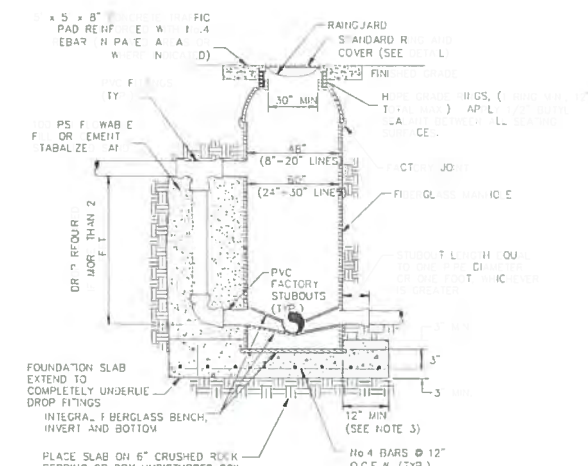
UTILITIES
WATER
LAYOUT

OF: C5.1

C3.0



- | | |
|--|--|
| <p>(1) PROPOSED 48" SANITARY SEWER MANHOLE #1
 (0) - SITE IMPROVEMENTS NOT PART OF THIS CONSTRUCTION SE)
 TOP = 104.00 OR MATCH EXISTING NATURAL GROUND
 FL (N) = 95.10
 FL (E) = 95.10</p> | <p>(18) PROPOSED 8" SDR 26 @ 0.34% ~ 296.00 LF
 (19) PROPOSED 48" PRECAST SANITARY SEWER MANHOLE #10
 TOP = 105.60
 FL (S) = 99.60
 FL (N) = 99.80</p> |
| <p>(2) PROPOSED 8" SDR 26 @ 0.34% ~ 111.25 LF</p> | <p>(20) PROPOSED 8" SDR 26 @ 0.34% ~ 186.00 LF
 (21) PROPOSED 48" PRECAST SANITARY SEWER MANHOLE #11
 TOP = 105.60
 FL (S) = 100.22</p> |
| <p>(3) PROPOSED 48" PRECAST SANITARY SEWER MANHOLE #2
 TOP = 105.00
 FL (S) = 95.47
 FL (W) = 95.47</p> | <p>(22) PROPOSED 8" SDR 26 @ 0.34% ~ 266.50 LF
 (23) PROPOSED 48" PRECAST SANITARY SEWER MANHOLE #12
 TOP = 105.90
 FL (N) = 97.43
 FL (E) = 97.43
 FL (W) = 97.43</p> |
| <p>(4) PROPOSED 8" SDR 26 @ 0.34% ~ 151.50 LF</p> | <p>(24) PROPOSED 8" SDR 26 @ 0.34% ~ 323.50 LF
 (25) PROPOSED 48" PRECAST SANITARY SEWER MANHOLE #13
 TOP = 106.20
 FL (S) = 98.53
 FL (N) = 98.53</p> |
| <p>(5) PROPOSED 48" PRECAST SANITARY SEWER MANHOLE #3
 TOP = 105.50
 FL (N) = 96.00
 FL (E) = 96.00</p> | <p>(26) PROPOSED 8" SDR 26 @ 0.34% ~ 296.00 LF
 (27) PROPOSED 48" PRECAST SANITARY SEWER MANHOLE #14
 TOP = 106.10
 FL (S) = 99.54
 FL (N) = 99.54</p> |
| <p>(6) PROPOSED 8" SDR 26 @ 0.34% ~ 317.75 LF</p> | <p>(28) PROPOSED 8" SDR 26 @ 0.34% ~ 250.00 LF
 (29) PROPOSED 48" PRECAST SANITARY SEWER MANHOLE #15
 TOP = 106.00
 FL (S) = 100.39
 FL (E) = 100.39</p> |
| <p>(7) PROPOSED 48" PRECAST SANITARY SEWER MANHOLE #4
 TOP = 104.65
 FL (N) = 99.08
 FL (S) = 99.08</p> | <p>(30) PROPOSED 8" SDR 26 @ 0.34% ~ 266.75 LF
 (31) PROPOSED 48" PRECAST SANITARY SEWER MANHOLE #16
 TOP = 105.35
 FL (W) = 101.30</p> |
| <p>(8) PROPOSED 8" SDR 26 @ 0.34% ~ 296.00 LF</p> | <p>(32) PROPOSED 8" SDR 26 @ 0.34% ~ 97.61 LF
 (33) PROPOSED 48" PRECAST SANITARY SEWER MANHOLE #17
 TOP = 106.40
 FL (W) = 97.61</p> |
| <p>(9) PROPOSED 48" PRECAST SANITARY SEWER MANHOLE #5
 TOP = 104.85
 FL (N) = 101.08
 FL (S) = 100.08</p> | |
| <p>(10) PROPOSED 8" SDR 26 @ 0.34% ~ 257.75 LF</p> | |
| <p>(11) PROPOSED 48" PRECAST SANITARY SEWER MANHOLE #6
 TOP = 106.00
 FL (N) = 101.96
 FL (W) = 101.96</p> | |
| <p>(12) PROPOSED 8" SDR 26 @ 0.34% ~ 111.65 LF</p> | |
| <p>(13) PROPOSED 48" PRECAST SANITARY SEWER MANHOLE #7
 TOP = 105.35
 FL (E) = 102.34</p> | |
| <p>(14) PROPOSED 8" SDR 26 @ 0.34% ~ 156.00 LF</p> | |
| <p>(15) PROPOSED 48" PRECAST SANITARY SEWER MANHOLE #8
 TOP = 106.20
 FL (N) = 97.50
 FL (W) = 96.53
 FL (E) = 96.53</p> | |
| <p>(16) PROPOSED 8" SDR 26 @ 0.34% ~ 322.00 LF</p> | |
| <p>(17) PROPOSED 48" PRECAST SANITARY SEWER MANHOLE #9
 TOP = 105.90
 FL (S) = 98.60</p> | |



BLUING OR DRY CRISTURBED SOL

SECTION (TYP)

NOTES

1 INSTALL IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS

2 BACKFILL SHALL BE "SAND COMPACTED TO 95% STANDARD PROCTOR

3 BASE SLAB SHALL BE 4 FT LARGER THAN MANHOLE D W/ATER W/ER SOL R C BE CEGSD

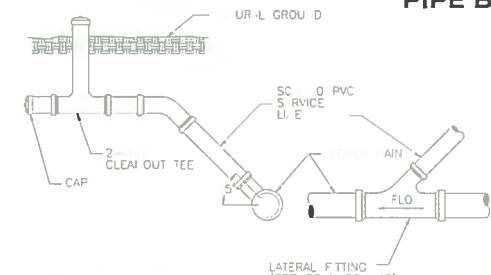
4 CAPACITY X 2000 PSI WATER TABLS 5 FT. OR DEPTH > 20

5 TO PREVENT FLOTTATION OF MANHOLE

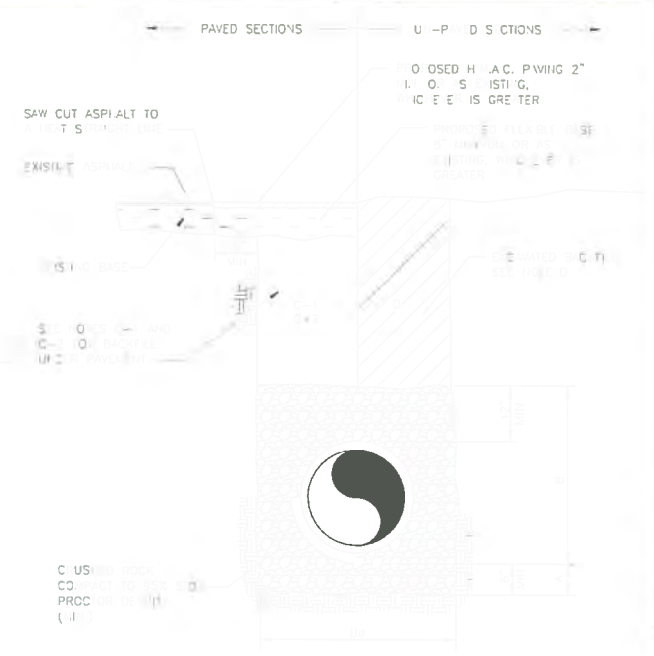
6 COAL LATERAL LEMEN 10'S AND METALL SURFACES WITH T O EXCEP

7 OUTLET SUBMERSIBLE SHALL BE SPQD END IN ET SUBMERSIBLE SHALL BE

8 FOR DROP CONNECTIONS

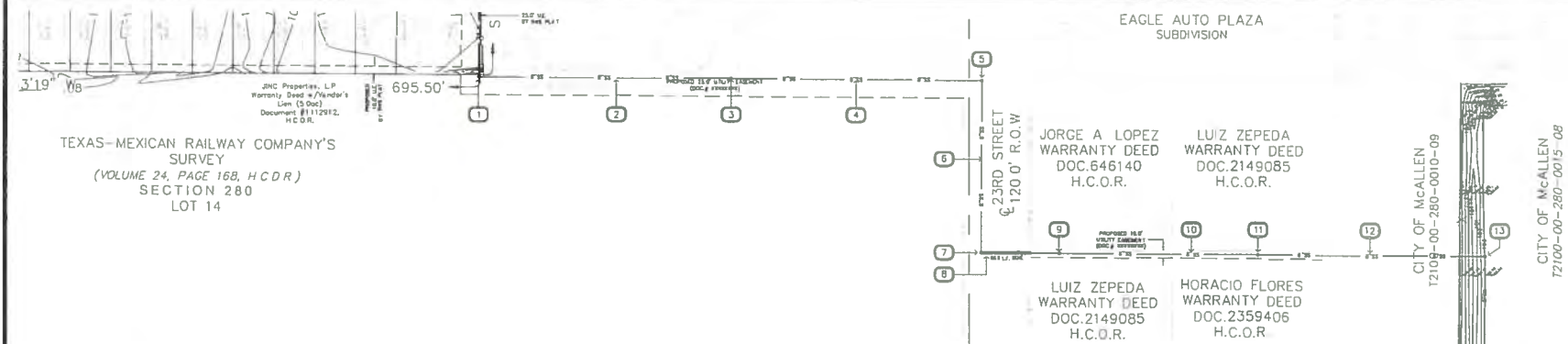


**STANDARD SEWER SERVICE
CONNECTION DETAIL**



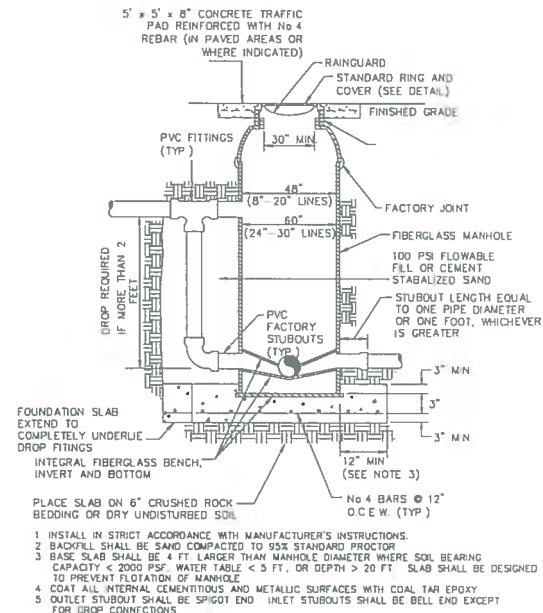
TYPICAL SANITARY SEWER PIPE BEDDING DETAIL





UTILITY PLAN SANITARY SEWER KEYNOTES

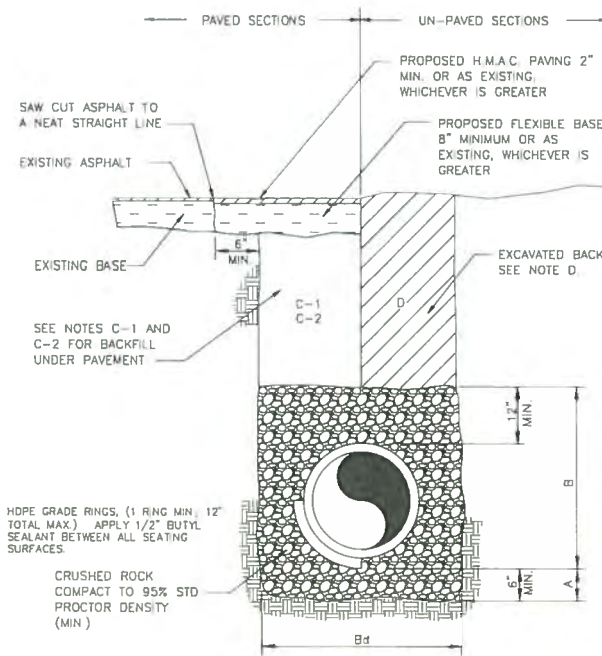
- PROPOSED 48" PRECAST SANITARY SEWER MANHOLE #1
(ON-SITE IMPROVEMENTS NOT PART OF THIS CONSTRUCTION SET)
TOP = 104.00
FL (N) = 95.10
FL (E) = 95.10
- PROPOSED 8" SDR 26 @ 0.34% ~ 317.00 LF
- PROPOSED 48" PRECAST SANITARY SEWER MANHOLE #2
TOP = 104.03
FL (E) = 94.03
FL (W) = 94.03
- PROPOSED 8" SDR 26 @ 0.34% ~ 317.00 LF
- PROPOSED 48" PRECAST SANITARY SEWER MANHOLE #3
TOP = 105.00
FL (N) = 92.95
FL (W) = 92.95
- PROPOSED 8" SDR 26 @ 0.34% ~ 216.00 LF
- PROPOSED 48" PRECAST SANITARY SEWER MANHOLE #4
TOP = 105.00
FL (N) = 92.24
FL (E) = 92.24
- PROPOSED 8" SDR 26 @ 0.34% ~ 96.00 LF
- PROPOSED 60.00 LF BORE UNDER 23RD STREET FOR CROSSING OF SEWER LINE. CONTRACTOR SHALL PROVIDE 16" STEEL CASING FOR 8" SEWER LINE CROSSING UNDER 23RD STREET.
- PROPOSED 48" PRECAST SANITARY SEWER MANHOLE #5
TOP = 105.50
FL (E) = 91.89
FL (W) = 91.89
- PROPOSED 8" SDR 26 @ 0.34% ~ 250.00 LF
- PROPOSED 48" PRECAST SANITARY SEWER MANHOLE #6
TOP = 104.00
FL (S) = 90.07
FL (W) = 90.07
- PROPOSED 8" SDR 26 @ 0.34% ~ 355.00 LF
- PROPOSED 48" PRECAST SANITARY SEWER MANHOLE #7
TOP = 103.75
FL (E) = 88.86
FL (W) = 88.86
- PROPOSED 8" SDR 26 @ 0.34% ~ 296.00 LF
- PROPOSED 48" PRECAST SANITARY SEWER MANHOLE #8
TOP = 103.50
FL (E) = 87.85
FL (W) = 87.85
- PROPOSED 8" SDR 26 @ 0.34% ~ 296.00 LF
- PROPOSED 48" PRECAST SANITARY SEWER MANHOLE #9
TOP = 103.00
FL (E) = 86.84
FL (W) = 86.84
- PROPOSED 8" SDR 26 @ 0.34% ~ 112.00 LF
- PROPOSED 48" PRECAST SANITARY SEWER MANHOLE #10
TOP = 104.31
FL (E) = 86.42
FL (W) = 86.42
- PROPOSED 8" SDR 26 @ 0.34% ~ 13.00 LF
- EXISTING SANITARY SEWER MANHOLE
TOP = 104.31
FL (NE) = 86.37
FL (W) = 78.31
FL (E) = 78.31



PRECAST SANITARY SEWER COLLECTION MANHOLE

Not to Scale

- INSTALL IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- BACKFILL SHALL BE SAND COMPACTED TO 95% STANDARD PROCTOR.
- BASE SLAB SHALL BE 4" THICK, LARGER THAN MANHOLE DIAMETER WHERE SOIL BEARING CAPACITY < 2000 PSF. WATER TABLE < 5 FT. OR DEPTH > 20 FT. SLAB SHALL BE DESIGNED TO PREVENT FLOTATION OF MANHOLE.
- COAT ALL INTERNAL CEMENTITIOUS AND METALLIC SURFACES WITH COAL TAR EPOXY.
- OUTLET STUBOUT SHALL BE SPIGOT END. INLET STUBOUTS SHALL BE BELL END EXCEPT FOR DROP CONNECTIONS.



TYPICAL SANITARY SEWER PIPE BEDDING DETAIL

GENERAL NOTES:

- CRUSHED ROCK BEDDING PLACED, HAND LEVELED, AND COMPACTED BEFORE PIPE IS LAID, UP TO BOTTOM OF PIPE (MIN. THICKNESS = 6").
 - CRUSHED ROCK BACKFILL PLACED AND COMPACTED AFTER PIPE IS LAID, FROM BOTTOM OF PIPE TO 12" ABOVE THE TOP OF PIPE. WORK IN UNDER PIPE HAUNCHES AND COMPACT BY HAND TO SPRING LINE. USE VIBRATORY TYPE COMPACTORS FOR LIFTS ABOVE THE SPRING LINE. MAXIMUM 6" LIFTS.
 - MINIMUM TRENCH WIDTH: PIPE O.D. + 16" (FOR 16" PIPE AND SMALLER), PIPE O.D. X 1.25 + 12" (FOR 18" PIPE AND LARGER).
 - (CITY STREETS, PARKING AREA, AND DRIVEWAYS) SELECT EXCAVATED BACKFILL MECHANICALLY COMPACTED TO 95% STANDARD PROCTOR DENSITY IN 6" MAX. LIFTS.
 - (STATE MAINTAINED ROADWAY) SAND/CEMENT STABILIZED BACKFILL WITH 7% PORTLAND CEMENT COMPACTED TO 95% STANDARD PROCTOR DENSITY.
 - EXCAVATED EARTH BACKFILL MECHANICALLY COMPACTED IN 12" MAX LIFTS. MINIMUM STANDARD PROCTOR DENSITY: 90% OUTSIDE RIGHT OF WAY; 95% INSIDE RIGHT OF WAY.
- EMBEDMENT SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM D 2321. EMBEDMENT MATERIAL SHALL BE CLASS 1A (CRUSHED ROCK) OR 1B (CRUSHED ROCK-SAND MIXTURE) WITH LESS THAN 50% PASSING A No. 4 SIEVE. MAXIMUM 3/4" SIZE FOR PIPE SIZE 15" GREATER THAN 90% OF CRUSHED ROCK SHALL HAVE AT LEAST THREE BROKEN FACES NO MORE THAN 2% UNBROKEN FRACTION ALLOWED.
- IN SATURATED OR UNSTABLE SOILS, EMBEDMENT SHALL BE CLASS 1B ONLY (SEE SPECIFICATIONS FOR GRADATION REQUIREMENTS).
- WHERE THIS STANDARD CONFLICTS WITH THE RECOMMENDATION OF ANY GEOTECHNICAL REPORT, OBTAIN WRITTEN CLARIFICATION FROM THE UTILITY ENGINEER PRIOR TO CONSTRUCTION.
- FOUNDATION PREPARATION USING COBBLES, GRAVEL, CEMENT STABILIZATION, OR OTHER METHODS AS APPROVED BY THE ENGINEER SHALL BE REQUIRED WHEN TRENCH BOTTOM IS UNSTABLE.
- BACKFILLING AT STRUCTURES SHALL BE PLACED IN UNIFORM LAYERS, AND COMPACTED TO 95% STANDARD PROCTOR DENSITY IN 6" MAXIMUM LIFTS. STRUCTURE BACKFILL MATERIAL SHALL BE SAND.

PROJECT #
ISSUE DATE 8/22/2021
DRAWN BY
CHECKED BY IT
REVISION
1
2
3

THE SEAL APPEARING ON THIS DOCUMENT
WAS AUTHORIZED BY IDEN MEMPHIS PE 92036
FOR THE PROJECT AND THE ENGINEER'S
PROPER NOTIFICATION TO THE RESPONSIBLE
ENGINEER IS AN OFFENSE UNDER THE TEXAS
ENGINEERING PRACTICE ACT
10/06/21

TREVIÑO ENGINEERING
FIRM No. F-7906

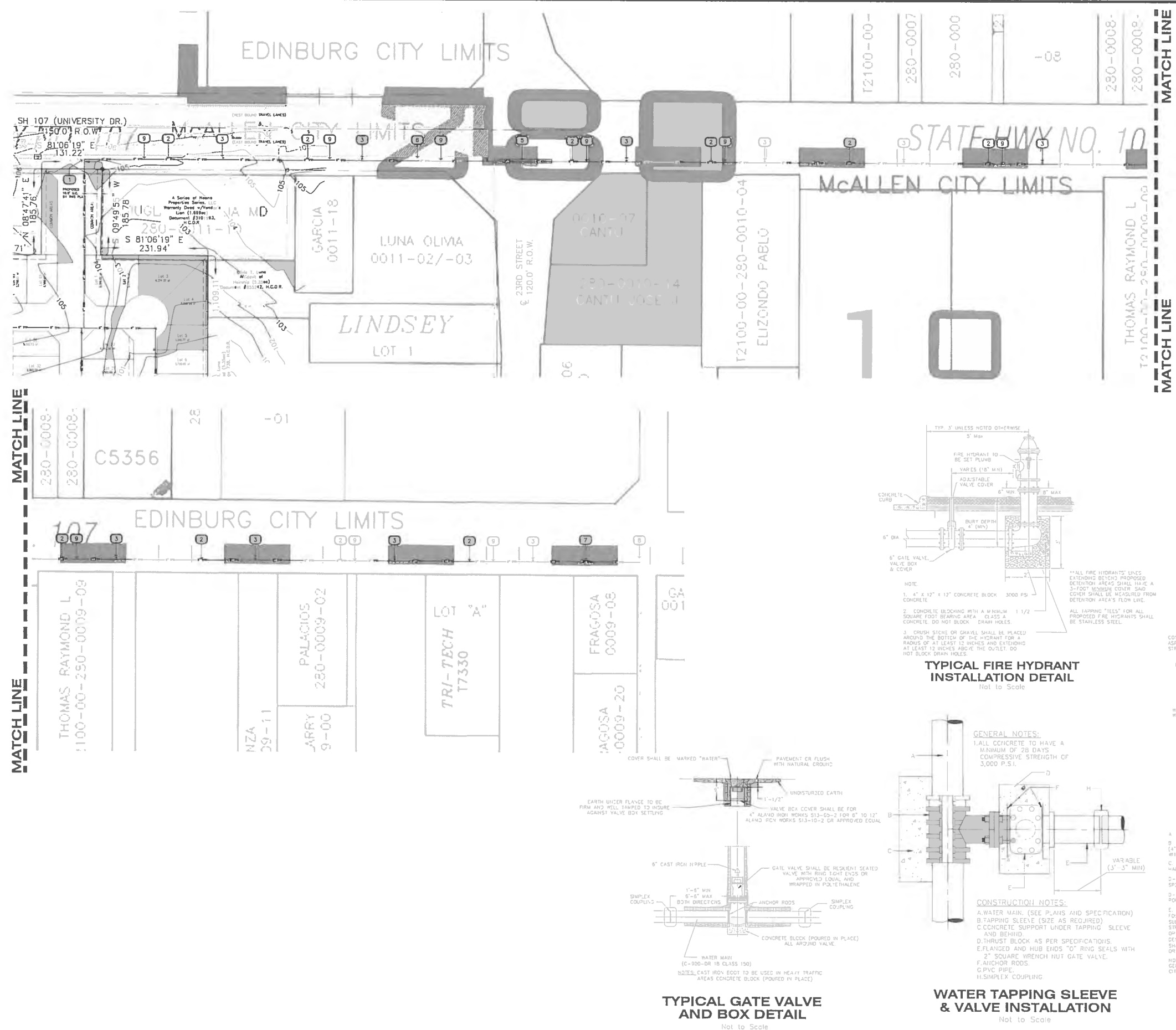


200 S. 10th St. #1301
McAllen, Texas 78501
TEL No. (956) 283-8847
iden@trevinoenr.com

PROJECT:
NORTH PARK ON 107
SUBDIVISION
S.H. 107 (UNIVERSITY DR.) CITY OF McALLEN, TEXAS

UTILITIES
SEWER
LAYOUT
C3.0
OF
C4.0





SET IRON ROD

FOUND IRON ROD

Water

Water Meter

Manhole

Street sign

Overhead Power

Light Pole

Fence

Electrical meter

Wrigley Pipe

Curb inlet

Fence

Scale: 1"=100'

North Arrow

LEGEND

**UTILITY PLAN
WATER DISTRIBUTION KEYNOTES**

1

PROPOSED 8"X8" 90° ELBOW TO NORTH PARK ON 107 SUBDIVISION ON SITE WATER DISTRIBUTION SYSTEM. GENERAL CONTRACTOR TO INSTALL 1 VALVE MARKER AT THIS LOCATION. (NORTH PARK ON 107 ON SITE CONSTRUCTION PLANS NOT PART OF THIS SET)

2

PROPOSED 8" PVC WATER DISTRIBUTION LINE ~ 300.00 LF

3

PROPOSED COMPLETE FIRE HYDRANT ASSEMBLY WITH 8" X 6" TAP AND 8" VALVE. BOTTOM FLANGE ELEVATION SHALL BE NOT LESS THAN 6" ABOVE THE TOP OF CURB ELEVATION.

4

PROPOSED 8" PVC WATER DISTRIBUTION LINE ~ 285.00 LF

5

CONTRACTOR SHALL BORE AT LEAST 5.0 FEET MINIMUM DEPTH APPROXIMATELY 125.0 FEET UNDER 23RD STREET WITH 16" STEEL CASING FOR PROPOSED OFF-SITE 8" WATERLINE MAIN EXTENSION.

6

PROPOSED 8" PVC WATER DISTRIBUTION LINE ~ 271.00 LF

7

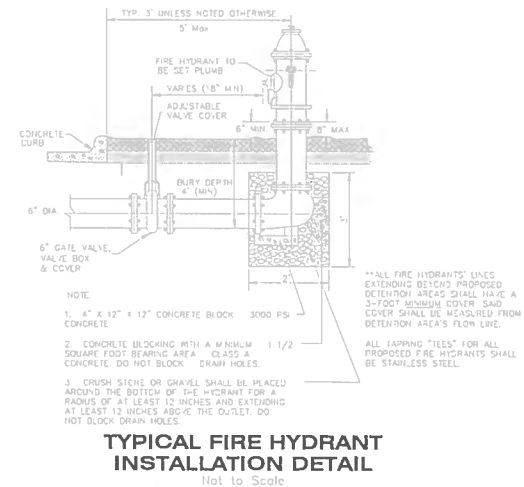
PROPOSED 8" PVC WATER DISTRIBUTION LINE ~ 230.00 LF

8

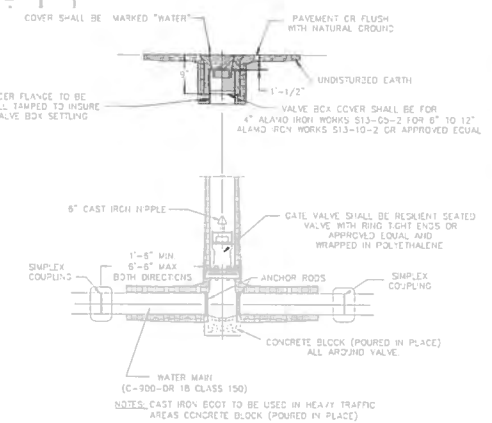
PROPOSED 12"X8"X2" TEE TO EXISTING 12" LINE ON THE WEST ROW OF BICENTENNIAL BOULEVARD. GENERAL CONTRACTOR TO INSTALL 1 VALVE MARKER AT THIS LOCATION.

9

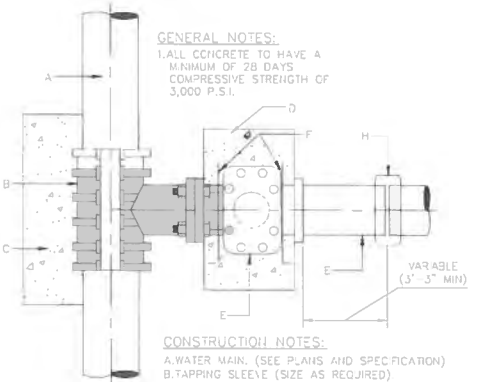
CONTRACTOR SHALL REMOVE EXISTING 2" WATERLINE ALONG THE SOUTH ROW OF S.H. 107 AND REPLACE WITH PROPOSED 8" PVC WATER MAIN DISTRIBUTION LINE.



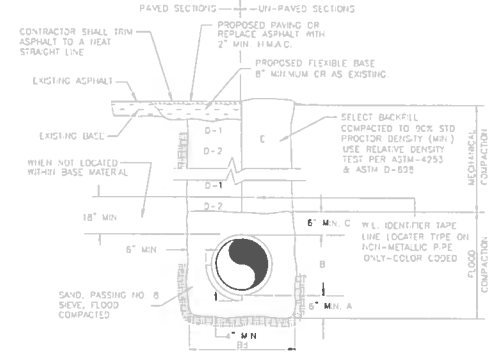
**TYPICAL FIRE HYDRANT
INSTALLATION DETAIL**
Not to Scale



**TYPICAL GATE VALVE
AND BOX DETAIL**
Not to Scale



**WATER TAPPING SLEEVE
& VALVE INSTALLATION**
Not to Scale



**WATER LINE BEDDING
TYPICAL DETAIL**
Not to Scale

PROJECT #
PROGRESS SET
ISSUE DATE: 8/2/2021
DRAWN BY
DRAFTERS INK
CHECKED BY IT
REVISION
1:
2:
3:

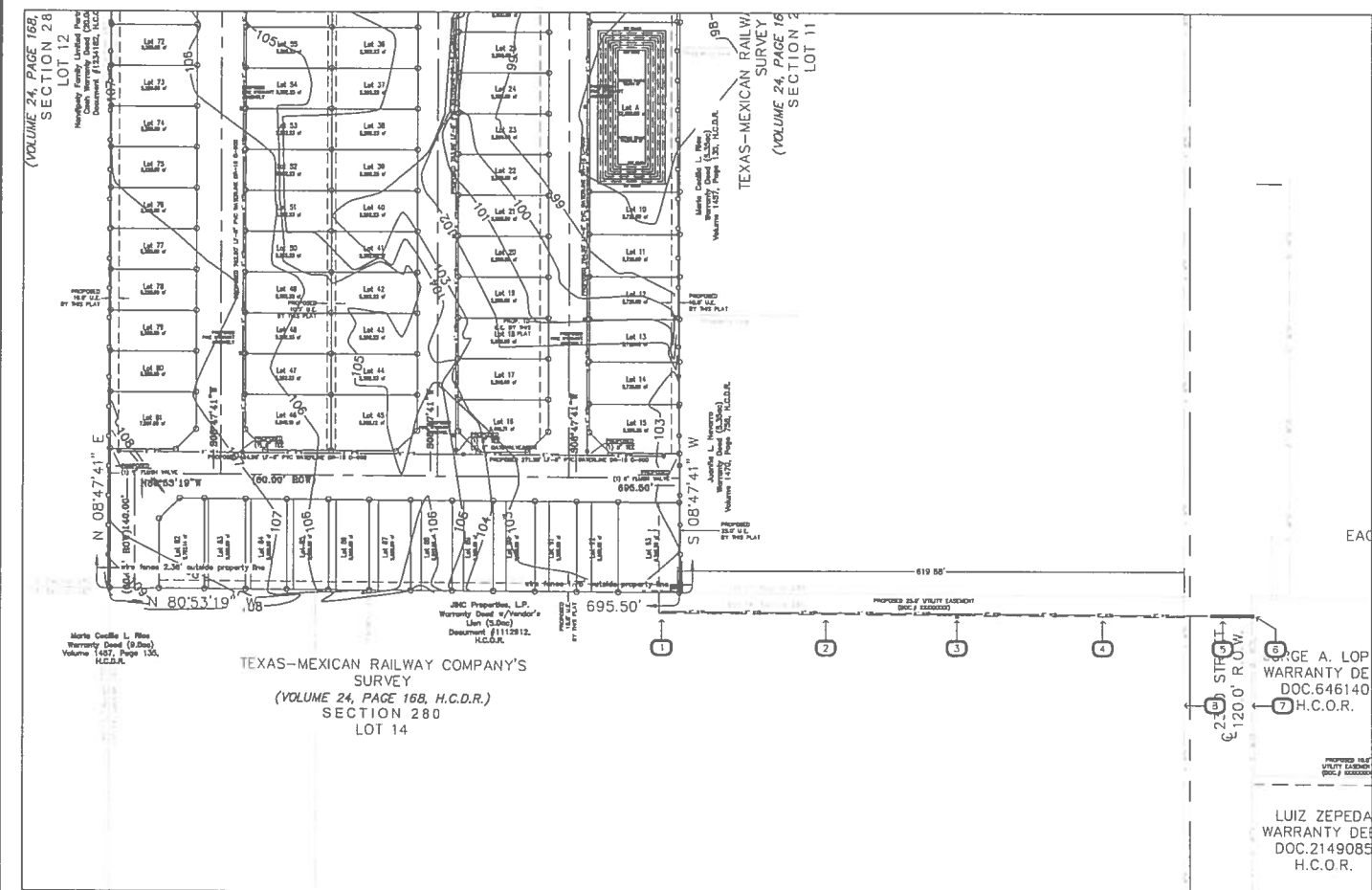
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01/19/2022

SEAL
STATE OF TEXAS
TREVINO ENGINEERING
FIRM No. F-7906
200 S. 10th, Ste. #1301
McAllen, Texas 78501
TEL No. (956) 283-8847
ident@trevenoengineering.com

PROJECT:
NORTH PARK ON 107
SUBDIVISION

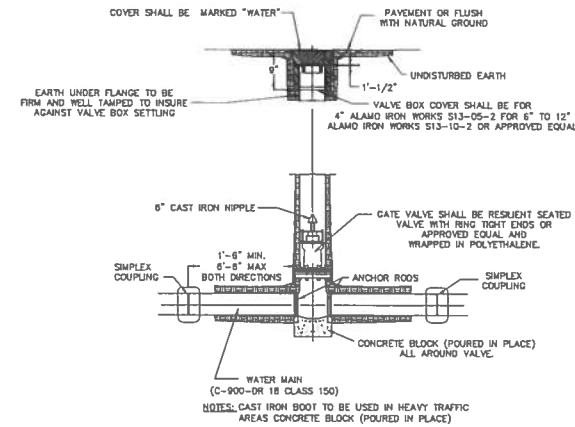
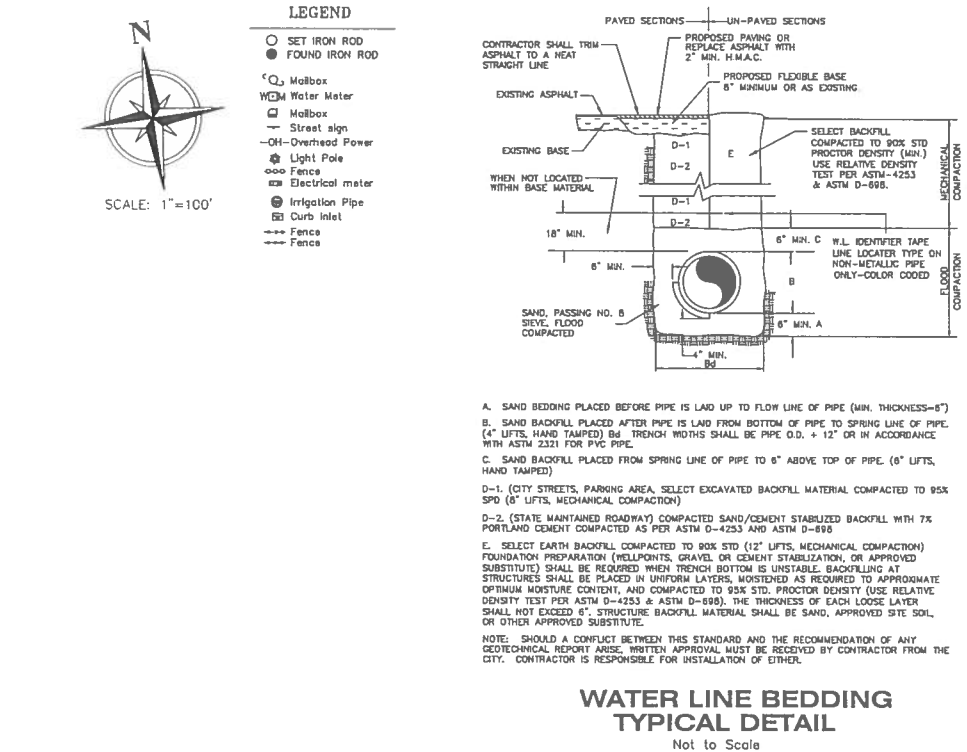
UTILITIES
WATER
LAYOUT
C2.0

CITY OF McALLEN, TEXAS
S.H. 107 UNIVERSITY DR.,
C4.0

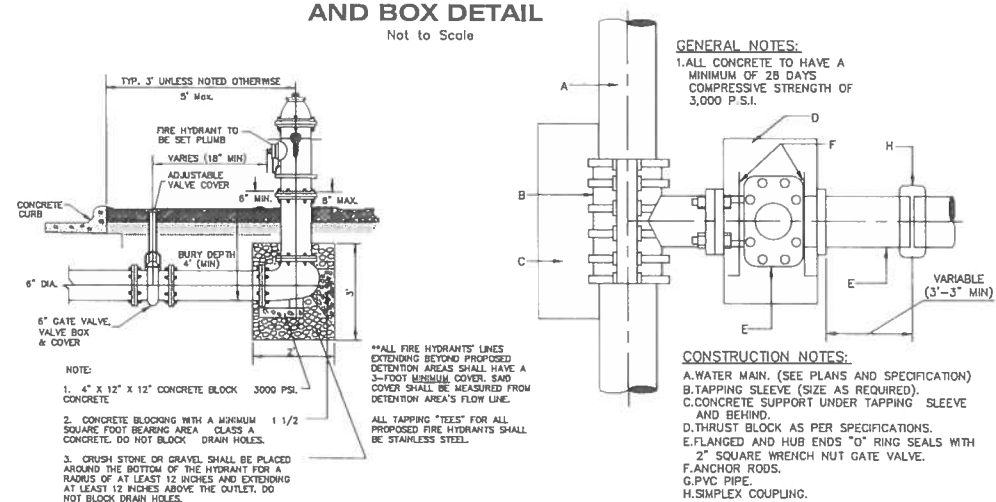


UTILITY PLAN WATER DISTRIBUTION KEYNOTES

- 1 PROPOSED 8" 90° ELBOW TO NORTH PARK ON 107 SUBDIVISION ONSITE WATER DISTRIBUTION SYSTEM. GENERAL CONTRACTOR TO INSTALL 1 VALVE MARKER AT THIS LOCATION, (NORTH PARK ON 107 ONSITE CONSTRUCTION PLANS NOT PART OF THIS SET)
- 2 PROPOSED 8" PVC WATER DISTRIBUTION LINE ~ 360.00 LF
- 3 PROPOSED COMPLETE FIRE HYDRANT ASSEMBLY WITH 8" x 6" TAP AND 6" VALVE. BOTTOM FLANGE ELEVATION SHALL BE NOT LESS THAN 6' ABOVE THE TOP OF CURB ELEVATION.
- 4 PROPOSED 8" PVC WATER DISTRIBUTION LINE ~ 360.00 LF
- 5 PROPOSED 70.00 LF BORE UNDER 23RD STREET FOR CROSSING OF WATERLINE. CONTRACTOR SHALL PROVIDE 16" STEEL CASING FOR 8" WATERLINE CROSSING UNDER 23RD STREET.
- 6 PROPOSED 8" x 8" WATER TAP INTO EXISTING 8" CITY OF MCALLEN WATERLINE. GENERAL CONTRACTOR SHALL COORDINATE WITH PUBLIC UTILITIES BEFORE DEMOLITION AND INSTALLATION OF WATERLINE.
- 7 APPROXIMATE LOCATION OF EXISTING 8" WATERLINE
- 8 APPROXIMATE LOCATION OF EXISTING 4" WATERLINE



TYPICAL GATE VALVE AND BOX DETAIL



TYPICAL FIRE HYDRANT INSTALLATION DETAIL

WATER TAPPING SLEEVE & VALVE INSTALLATION

PROJECT #:
PROGRESS SET
ISSUE DATE: 8/2/2021
DRAWN BY
DRAFTERS INK
CHECKED BY IT
REVISION:
1
2:
3:

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TREVINO ENGINEERING
FIRM No. F-7906

200 S. 10th. Ste. #1301
McAlLEN, TEXAS 78501

TEL No. (956) 283-8847
ident@tirevinoengineering.com

PROJECT:
NORTH PARK ON 107
SUBDIVISION

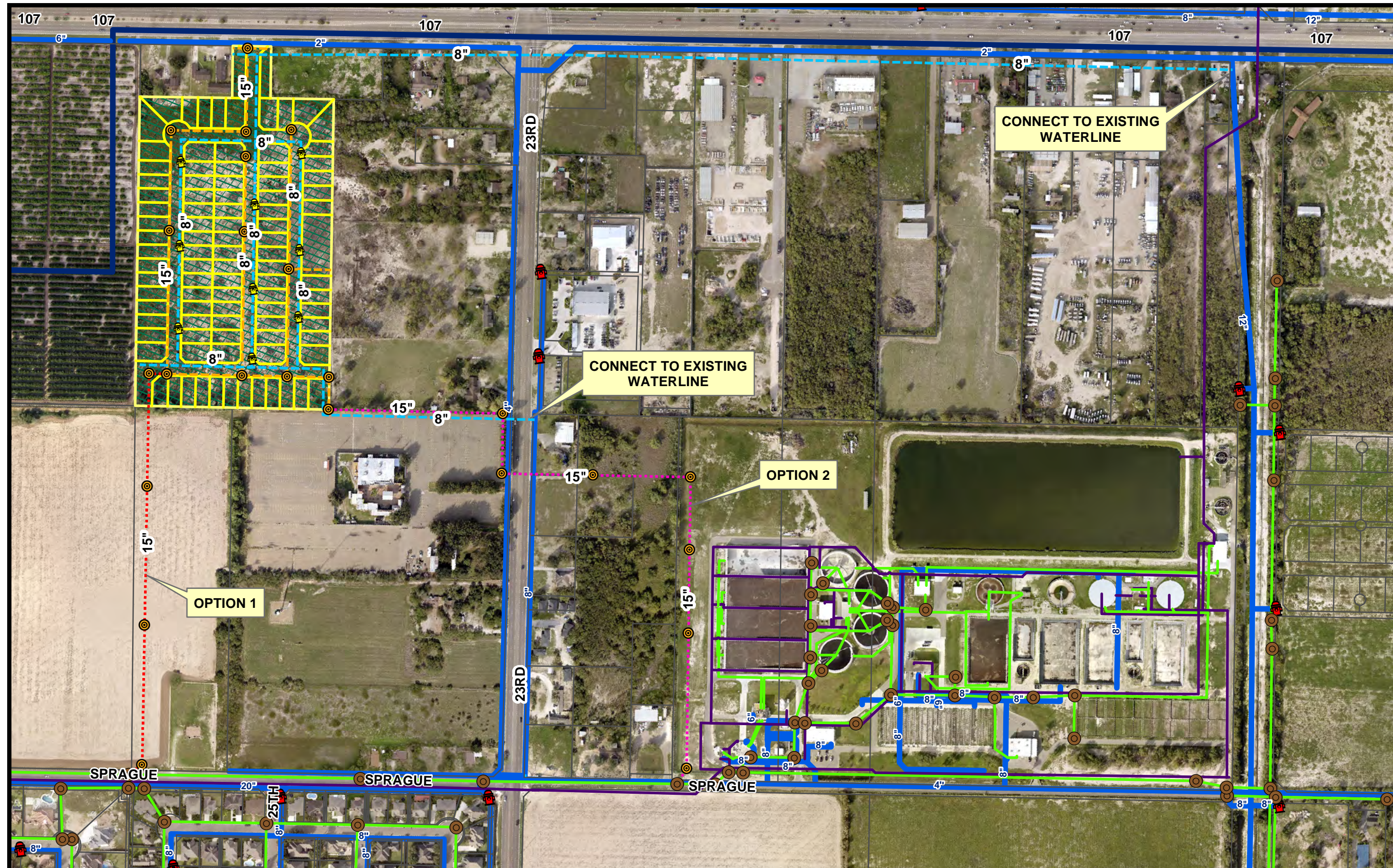
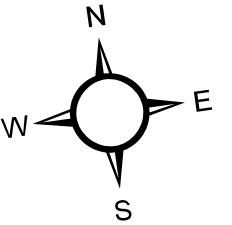
S.H. 107 (UNIVERSITY DR.) CITY OF McALLEN, TEXAS












UTILITIES WATER LAYOUT

OF: C4.0

C2.0

NORTH PARK ON 107



- Legend**
-  Proposed Fire Hydrant
 -  Existing Manhole
 -  Proposed Manholes
 -  Option 2
 -  Option 1
 -  Proposed Water Line
 -  Proposed Sewer Line
 -  Existing Fire Hydrants
 -  Proposed Area
 -  Existing Waterline
 -  Water CCN



AGENDA ITEM

4.j.

PUBLIC UTILITY BOARD

DATE SUBMITTED

02/09/2022

MEETING DATE

2/15/2022

1. Agenda Item: Discussion and Approval of Jackson Street Apartments Subdivision
2. Party Making Request:
Erika Gomez, Developmental Activities
3. Nature of Request: Request of MPUB approval from the developer of the proposed subdivision
4. Budgeted:

Bid Amount:	_____	Budgeted Amount:	_____
Under Budget:	_____	Over Budget:	_____
		Amount Remaining:	_____
5. Reimbursement:
Sewerline Reimbursement to MPU and Developer of Jackson Meadows in the amount of \$10,692.33; and Sewer Line Reimbursement to MPU in the amount of \$15,558.10 for El Rancho Sewer Line Project.
6. Routing:
Erika Gomez Created/Initiated - 2/9/2022
7. Staff's Recommendation: Approval of the subdivision as conditions set forth
8. City Attorney: Approve. IJT
9. MPU General Manager: Approved - MAV
10. Director of Finance for Utilities: Approved - MDC

Memo

TO: Marco A. Vega, P.E., General Manager

THRU: Carlos Gonzalez, P.E., Utility Engineer

FROM: Erika Gomez, E.I.T., Asst. Utility Engineer

DATE: February 7th, 2022

SUBJECT: Jackson Street Apartments Subdivision; Consideration & Approval of Subdivision

This property is located on the west side of Jackson Road and approximately 600 feet north of Yuma Ave. It is located within the McAllen City Limits and is being proposed as R-3A residential. The tract consists of 10.02 acres and will be a 2-lot subdivision for multifamily and commercial use.

The subdivision application was originally filed with the City on November 8th, 2021 and has received preliminary P&Z approval on December 7, 2021. The information required from the developer's engineer for this agenda was received on February 4th, 2022.

Utility plan/availability is described as follows:

1. **Water Service:** The applicant is proposing to connect to an existing 8-inch waterline located on the southwest corner of the property. Applicant is proposing to install internal loop for phase I and escrow or submit letter of credit for phase II to extend waterline to and through the property during the second phase.
2. **Sewer Service:** The applicant is proposing to connect to a proposed 8-inch sewerline being installed by adjacent subdivision on the southwest corner of the property and extend an 8-inch sewerline for phase I. Applicant is proposing to submit an escrow or Letter of Credit for sewerline improvements to extend to and through for phase II.
3. This property falls within the Jackson Meadows and El Rancho sewer reimbursement service areas.

Staff recommends MPUB approval of the subdivision application as proposed subject to the following: 1.) Dedication of a utility easement, along the perimeter of the property, and where the main utility lines will be installed; 2.) Installation of the proposed public utility infrastructure be constructed as proposed; 3.) Escrow or letter of credit for Phase II utility improvements and for any improvements not installed during Phase I; 4.) Payment of a sewerline Reimbursement to MPU and Developer of Jackson Meadows in the amount of \$10,692.33; and 5.) Payment of a Sewer Line Reimbursement to MPU in the amount of \$15,558.10 for El Rancho Sewer Line Project.

I'll be available for further discussion/questions at the MPUB meeting.



GUZMAN & MUÑOZ
ENGINEERING AND SURVEYING, INC.

2020 East Expressway 83
Mercedes, Texas 78570

PHONE: (956) 565-4637
FAX: (956) 565-4636

February 4, 2022

Mr. Rafael Balderas
City of McAllen Public Utility
1300 Houston Ave.
P.O. Box 220
McAllen, TX 78505

Subject: Proposed Subdivision to MPUB Checklist - Utility Narrative

Dear Mr. Balderas,

In accordance with the City of McAllen Subdivision process, we are submitting the following Utility Narrative:

Jackson Street Apartments Subdivision is a 7.935 acre tract of land out of a 10.04 acre tract of land out of Lot 2, Block 8, A.J. McColl Subdivision that will be provided with potable water by the City of McAllen and will enter into a contractor to provide sufficient water to meet their needs for a period of at least 30- years and will provide documentation to sufficient establish the long term quality and quality of available water supply to serve the Jackson Street Apartments Subdivision. The City of McAllen has an existing 8" water supply line located on the adjacent lot of Pyxis Heights Subdivision Southeast of the Hidalgo County Water and Irrigation District No. 2 main canal that is capable of providing water to the proposed Jackson Street Apartments Subdivision, the water supply system will include the purchase of the water meter of the proposed subdivision and the connections required. The owner will contract for provision of water and installation of the water supply infrastructure after the subdivision plat is filed.

The owner proposes to subscribe to the City of McAllen Wastewater treatment system by connection to the existing sanitary sewer line located on the adjacent lot of Pyxis Heights Subdivision Southeast of the Hidalgo County Water and Irrigation District No. 2 Main Canal. The City of McAllen wastewater will be available upon construction of the connection line.

The Subdivision is intended for residential purposes. The lot has direct access to Jackson Road (FM 2061) which is a public road. A building pad will require fill in order to ensure the slab elevation is at least 2 feet above the elevation of the centerline of Jackson Road. The owner proposes construction of apartments for the first phase of the project. Within the next few years phase 2 will follow consisting of commercial buildings.

If you have any questions concerning this application or the attachments therewith, please advise via email to jmunoz@gmes.biz or chinojosa@gmes.biz or call at 956-565-4637.

Best regards,



Christopher Hinojosa, E.I.T.

Guzman and Munoz Engineering and Surveying, Inc.

2020 E Expressway 83 Mercedes, TX 78570

Office: (956) 565 – 4637 Ext: 404

Fax: (956) 565 – 4636

REIMBURSEMENT WAIVER

STATE OF TEXAS X

COUNTY OF HIDALGO X

THIS CERTIFICATE, issued by the McAllen Public Utility (MPUB), as authorized by such Board of Trustees, hereinafter called the MPUB to RRC Development Jackson Rd, LLC hereinafter called the DEVELOPER.

1. The DEVELOPER is the developer of the following described property:

Jackson St. Apartments and proposes to construct Utility Improvements as shown on a plan
(Subdivision Name)

designed by Guzman & Munoz Engineering & Surveying, Inc. dated _____, hereinafter called the
(Engineering Firm)

IMPROVEMENTS, as approved by the McAllen Public Utility Board on _____.
(Approval date)

2. By the execution of this certificate, the Developer hereby waives and disclaims the right to obtain reimbursement from Intervening Developers in accordance with the MPUB's Reimbursement Policy.

ISSUED in triplicate originals this _____ day of _____, 202__.

CITY OF McALLEN BY THE
McALLEN PUBLIC UTILITY

BY: _____
Mark Vega, P.E.
General Manager, McAllen Public Utility
Post Office Box 220
McAllen, Texas 78505-0220
(956) 681-1630

ATTEST:

Board Secretary

DEVELOPER

BY: _____
Address: _____

SUBDIVISION REIMBURSEMENT WORKSHEET
JACKSON STREET APARTMENTS SUBDIVISION

SEWER LINE REIMB. CALCULATIONS

SEWER:	DEV: JACKSON MEADOWS		
COST:	\$970.09	x	10.02 AC \$9,720.30
10% ADMIN FEE	<10 YEARS		972.03

SEWER LINE REIMBURSEMENT	\$10,692.33
---------------------------------	--------------------

SEWER LINE REIMB. CALCULATIONS

SEWER:	MPU: EL RANCHO		
COST:	\$1,411.55	x 10.02 AC	\$14,143.73
10% ADMIN FEE	<10 YEARS		1,414.37

SEWER LINE REIMBURSEMENT	\$15,558.10
---------------------------------	--------------------

TOTAL REIMBURSEMENT DUE **\$26,250.43**

Prepared By:_____ Date:_____ Reviewed By:_____

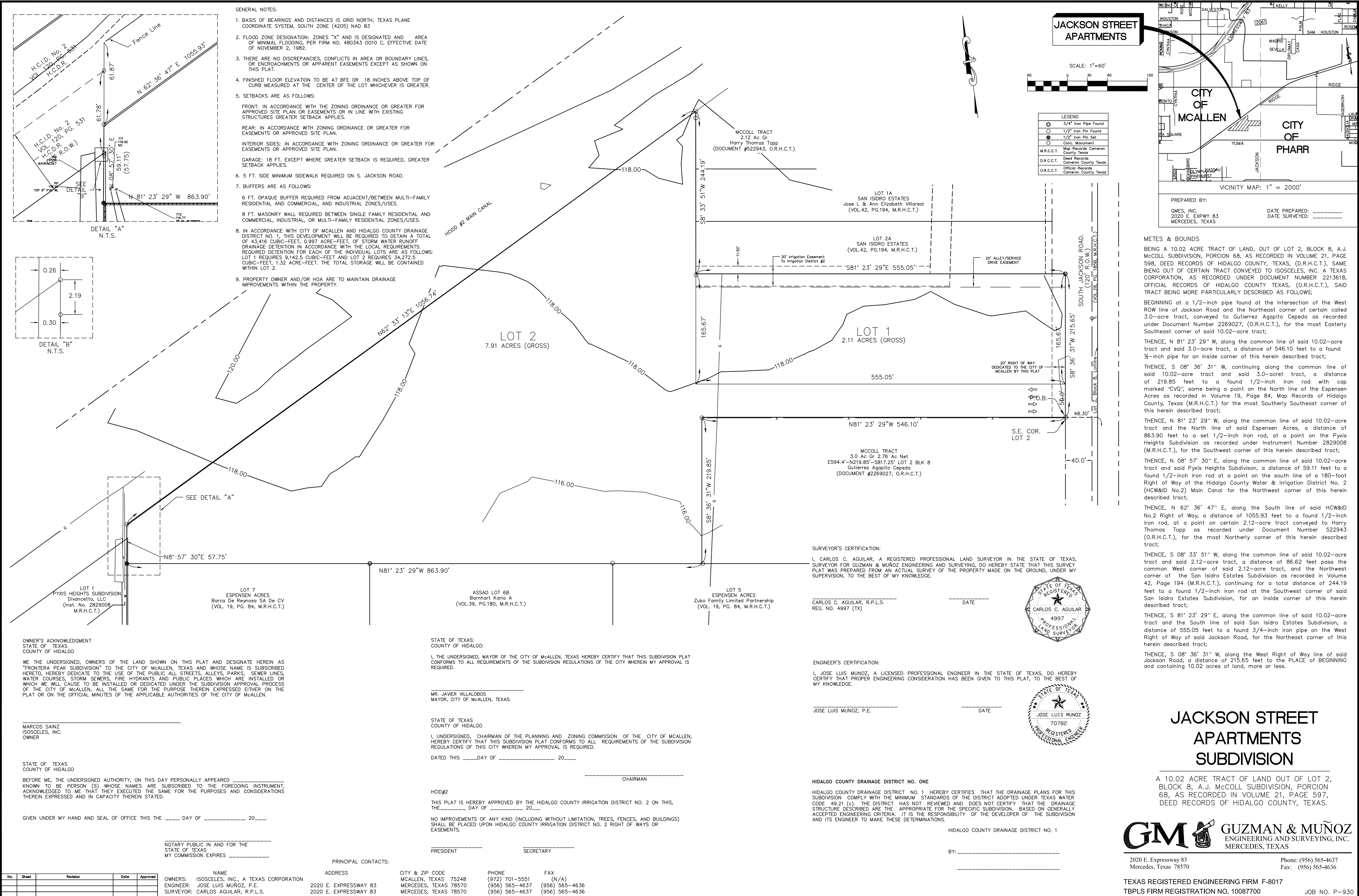
Escrows will be adjusted upon execution of Final Reimbursement Certificate

I hereby agree to pay amounts indicated above and any additional costs determined in the Final Reimbursement Certificate as approved by McAllen Public Utility Board.

Signature: _____

Print: _____

FILE NAME: Z:\045-2021\9359 MCALLEN\9359 FINAL-PRM-0106



GENERAL NOTES:

1. BASIS OF BEARINGS AND DISTANCES IS GRID NORTH, TEXAS PLANE COORDINATE SYSTEM, SOUTH ZONE (4205) NAD 83
2. FLOOD ZONE DESIGNATION: ZONES "X" AND IS DESIGNATED AND AREA OF MINIMAL FLOODING, PER FIRM NO. 480343 0010 C, EFFECTIVE DATE OF NOVEMBER 2, 1982.
3. THERE ARE NO DISCREPANCIES, CONFLICTS IN AREA OR BOUNDARY LINES, OR ENCROACHMENTS OR APPARENT EASEMENTS EXCEPT AS SHOWN ON THIS PLAT.
4. FINISHED FLOOR ELEVATION TO BE AT BFE OR 18 INCHES ABOVE TOP OF CURB MEASURED AT THE CENTER OF THE LOT WHICHEVER IS GREATER.
5. SETBACKS ARE AS FOLLOWS:
FRONT: IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR APPROVED SITE PLAN OR EASEMENTS OR IN LINE WITH EXISTING STRUCTURES GREATER SETBACK APPLIES.
REAR: IN ACCORDANCE WITH ZONING ORDINANCE OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN.
INTERIOR SIDES: IN ACCORDANCE WITH ZONING ORDINANCE OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN.
GARAGE: 18 FT. EXCEPT WHERE GREATER SETBACK IS REQUIRED, GREATER SETBACK APPLIES.
6. 5 FT. SIDE MINIMUM SIDEWALK REQUIRED ON S. JACKSON ROAD.
7. BUFFERS ARE AS FOLLOWS:
6 FT. OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, AND INDUSTRIAL ZONES/USES.
8 FT. MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
8. IN ACCORDANCE WITH CITY OF MCALLEN AND HIDALGO COUNTY DRAINAGE DISTRICT NO. 1, THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN A TOTAL OF 43,416 CUBIC-FEET, 0.997 ACRE-FEET, OF STORM WATER RUNOFF DRAINAGE DETENTION IN ACCORDANCE WITH THE LOCAL REQUIREMENTS. REQUIRED DETENTION FOR EACH OF THE INDIVIDUAL LOTS ARE AS FOLLOWS: LOT 1 REQUIRES 9,142.5 CUBIC-FEET AND LOT 2 REQUIRES 34,272.5 CUBIC-FEET, 1.32 ACRE-FEET. THE TOTAL STORAGE WILL BE CONTAINED WITHIN LOT 2.
9. PROPERTY OWNER AND/OR HOA ARE TO MAINTAIN DRAINAGE IMPROVEMENTS WITHIN THE PROPERTY.

LEGEND	
○	3/4" Iron Pipe Found
○	1/2" Iron Pin Found
●	1/2" Iron Pin Set
○	Conc. Monument
M.R.C.C.T.	Map Records Cameron County Texas
D.R.C.C.T.	Deed Records Cameron County Texas
O.R.C.C.T.	Official Records Cameron County Texas

METES & BOUNDS
BEING A 10.02 ACRE TRACT OF LAND, OUT OF LOT 2, BLOCK 8, A.J. MCCOLL SUBDIVISION, PORCION 68, AS RECORDED IN VOLUME 21, PAGE 598, DEED RECORDS OF HIDALGO COUNTY, TEXAS, (O.R.H.C.T.), SAME BEING OUT OF CERTAIN TRACT CONVEYED TO ISOSCELES, INC. A TEXAS CORPORATION, AS RECORDED UNDER DOCUMENT NUMBER 2213618, OFFICIAL RECORDS OF HIDALGO COUNTY TEXAS, (O.R.H.C.T.), SAID TRACT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS;
BEGINNING at a 1/2-inch pipe found at the intersection of the West ROW line of Jackson Road and the Northeast corner of certain called 3.0-acre tract, conveyed to Gutierrez Agapito Cepeda as recorded under Document Number 2269027, (O.R.H.C.T.), for the most Easterly Southeast corner of said 10.02-acre tract;
THENCE, N 81° 23' 29" W, along the common line of said 10.02-acre tract and said 3.0-acre tract, a distance of 546.10 feet to a found 1/2-inch pipe for an inside corner of this herein described tract;
THENCE, S 08° 36' 31" W, continuing along the common line of said 10.02-acre tract and said 3.0-acre tract, a distance of 219.85 feet to a found 1/2-inch iron rod with cap marked "CVQ", same being a point on the North line of the Espensen Acres as recorded in Volume 19, Page 84, Map Records of Hidalgo County, Texas (M.R.H.C.T.) for the most Southerly Southeast corner of this herein described tract;
THENCE, N 81° 23' 29" W, along the common line of said 10.02-acre tract and the North line of said Espensen Acres, a distance of 863.90 feet to a set 1/2-inch iron rod, at a point on the Pyxis Heights Subdivision as recorded under Instrument Number 2829008 (M.R.H.C.T.), for the Southwest corner of this herein described tract;
THENCE, N 08° 57' 30" E, along the common line of said 10.02-acre tract and said Pyxis Heights Subdivision, a distance of 59.11 feet to a found 1/2-inch iron rod at a point on the south line of a 180-foot Right of Way of the Hidalgo County Water & Irrigation District No. 2 (HCW&ID No.2) Main Canal for the Northwest corner of this herein described tract;
THENCE, N 62° 36' 47" E, along the South line of said HCW&ID No.2 Right of Way, a distance of 1055.93 feet to a found 1/2-inch iron rod, at a point on certain 2.12-acre tract conveyed to Harry Thomas Topp as recorded under Document Number 522943 (O.R.H.C.T.), for the most Northerly corner of this herein described tract;
THENCE, S 08° 33' 51" W, along the common line of said 10.02-acre tract and said 2.12-acre tract, a distance of 86.62 feet pass the common West corner of said 2.12-acre tract, and the Northwest corner of the San Isidro Estates Subdivision as recorded in Volume 42, Page 194 (M.R.H.C.T.), continuing for a total distance of 244.19 feet to a found 1/2-inch iron rod at the Southwest corner of said San Isidro Estates Subdivision, for an inside corner of this herein described tract;
THENCE, S 81° 23' 29" E, along the common line of said 10.02-acre tract and the South line of said San Isidro Estates Subdivision, a distance of 555.05 feet to a found 3/4-inch iron pipe on the West Right of Way of said Jackson Road, for the Northeast corner of this herein described tract;
THENCE, S 08° 36' 31" W, along the West Right of Way line of said Jackson Road, a distance of 215.65 feet to the PLACE OF BEGINNING and containing 10.02 acres of land, more or less.

SURVEYOR'S CERTIFICATION:

I, CARLOS C. AGUILAR, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, SURVEYOR FOR GUZMAN & MUÑOZ ENGINEERING AND SURVEYING, DO HEREBY STATE THAT THIS SURVEY PLAT WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE ON THE GROUND, UNDER MY SUPERVISION, TO THE BEST OF MY KNOWLEDGE.

CARLOS C. AGUILAR, R.P.L.S.
REG. NO. 4997 (TX)

DATE

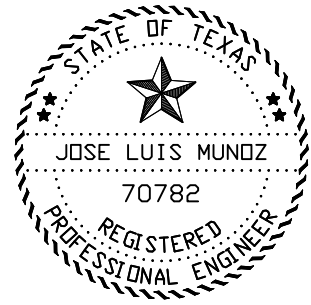


ENGINEER'S CERTIFICATION:

I, JOSE LUIS MUNOZ, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT, TO THE BEST OF MY KNOWLEDGE.

JOSE LUIS MUNOZ, P.E.

DATE



HIDALGO COUNTY DRAINAGE DISTRICT NO. ONE

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.21 (c). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURE DESCRIBED ARE THE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

BY: _____

OWNER'S ACKNOWLEDGMENT
STATE OF TEXAS
COUNTY OF HIDALGO

WE THE UNDERSIGNED, OWNERS OF THE LAND SHOWN ON THIS PLAT AND DESIGNATE HEREIN AS "FRONTIERA PEAK SUBDIVISION" TO THE CITY OF MCALLEN, TEXAS AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, SEWER LINES, WATER COURSES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH WE WILL CAUSE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF MCALLEN, ALL THE SAME FOR THE PURPOSE THEREIN EXPRESSED EITHER ON THE PLAT OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF MCALLEN.

MARCOS SAINZ
ISOSCELES, INC.
OWNER

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ KNOWN TO BE PERSON (S) WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT, ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE ____ DAY OF _____, 20____

NOTARY PUBLIC IN AND FOR THE
STATE OF TEXAS
MY COMMISSION EXPIRES _____

PRINCIPAL CONTACTS:

NAME
OWNERS: ISOSCELES, INC., A TEXAS CORPORATION
ENGINEER: JOSE LUIS MUÑOZ, P.E.
SURVEYOR: CARLOS AGUILAR, R.P.L.S.

ADDRESS
2020 E. EXPRESSWAY 83
2020 E. EXPRESSWAY 83

CITY & ZIP CODE
MCALLEN, TEXAS 75248
MERCEDES, TEXAS 78570
MERCEDES, TEXAS 78570

PHONE FAX
(972) 701-5551 (N/A)
(956) 565-4637 (956) 565-4636
(956) 565-4637 (956) 565-4636

STATE OF TEXAS:
COUNTY OF HIDALGO:

I, THE UNDERSIGNED, MAYOR OF THE CITY OF MCALLEN, TEXAS HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY WHEREIN MY APPROVAL IS REQUIRED.

MR. JAVIER VILLALOBOS
MAYOR, CITY OF MCALLEN, TEXAS.

STATE OF TEXAS
COUNTY OF HIDALGO

I, UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF MCALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

DATED THIS ____DAY OF _____, 20____

CHAIRMAN

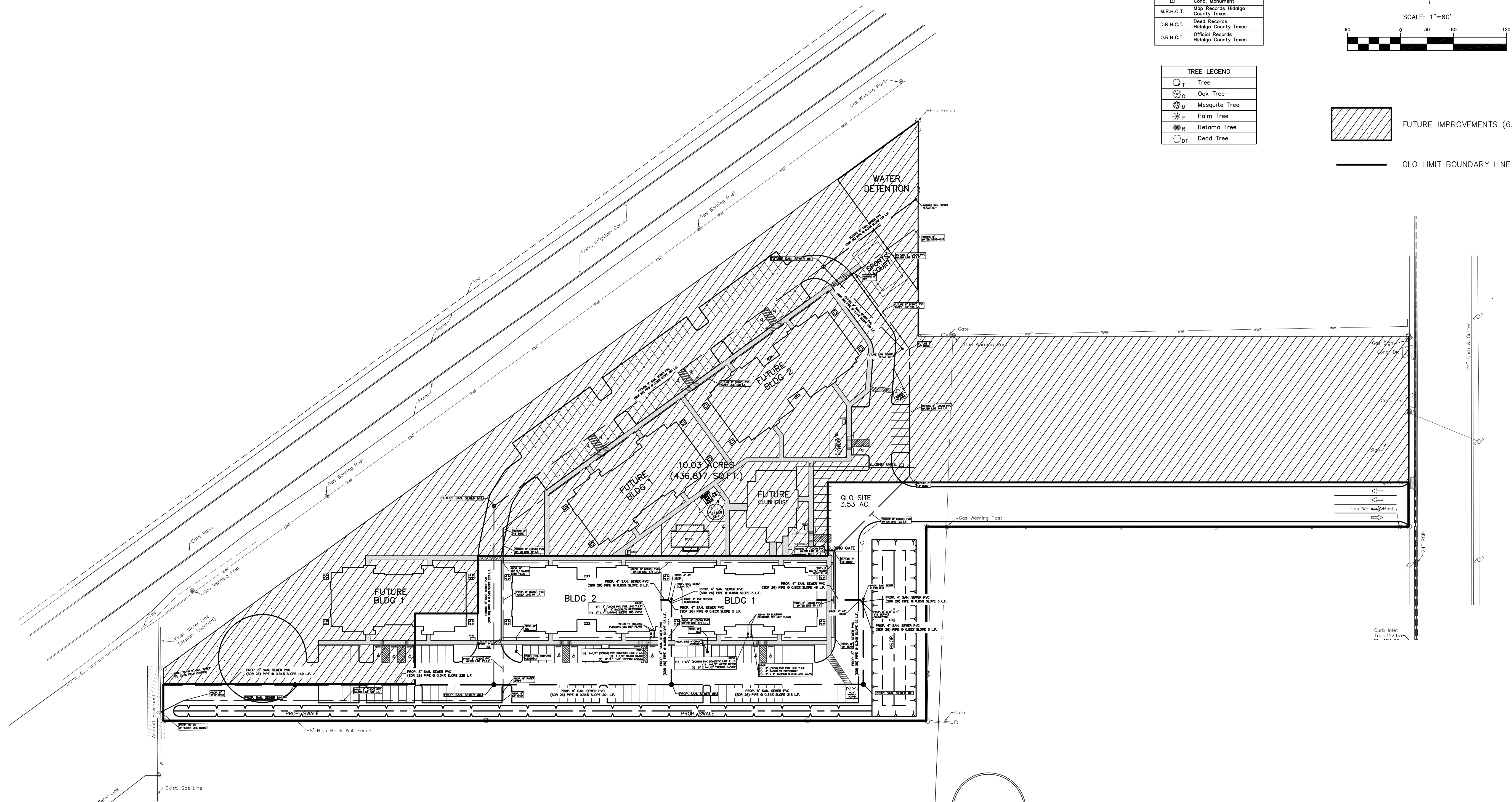
HCID#2

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT NO. 2 ON THIS, THE ____ DAY OF _____, 20____







NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION, TREES, FENCES, AND BUILDINGS) SHALL BE PLACED UPON HIDALGO COUNTY IRRIGATION DISTRICT NO. 2 RIGHT OF WAYS OR EASEMENTS.

PRESIDENT

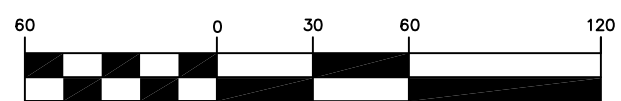
SECRETARY



LEGEND	
○	1/2" Iron Rod Found
⦿	3/4" Iron Rod Found
⚡	Power Pole
—P—	Powerline
⚓	Water Valve
⚓	Fire Hydrant
⚓	Water Bleeder Pipe
—W—	Water Line
—	Tel. Pedestal
—WWF—	Ex—Woven Wire Fence
—X—	Ex—Chainlink Fence
—G—	Ex—Gas Line
□	Conc. Monument
M.R.H.C.T.	Map Records Hidalgo County Texas
D.R.H.C.T.	Deed Records Hidalgo County Texas
O.R.H.C.T.	Official Records Hidalgo County Texas

TREE LEGEND	
	T Tree
	O Oak Tree
	M Mesquite Tree
	P Palm Tree
	R Retama Tree
	DT Dead Tree

SCALE: 1"=60'



FUTURE IMPROVEMENTS (6.55 AC.)

GLO LIMIT BOUNDARY LINE

Checked By: J.L.M.	
Approved By: J.L.M.	
Drawn By: J.H.	
Date: JANUARY 2022	
Revision:	DATE
	DESCRIPTION
NO.	

PRELIMINARY

THIS DOCUMENT IS RELEASED
FOR THE PURPOSE OF INTERIM
REVIEW UNDER THE AUTHORITY
OF JOSE LUIS MUNOZ, P.E.
70782 ON January 24, 2022
IT IS NOT TO BE USED FOR
CONSTRUCTION, BIDDING, OR
PERMIT PURPOSES.

MCALLEN, TEXAS
JACKSON ST. APARTMENTS
MASTER DEVELOPMENT PLAN

GM GUZMAN & MUÑOZ
ENGINEERING AND SURVEYING, INC.
MERCED, TEXAS

Phone: (956) 565-4637
Fax: (956) 565-4636

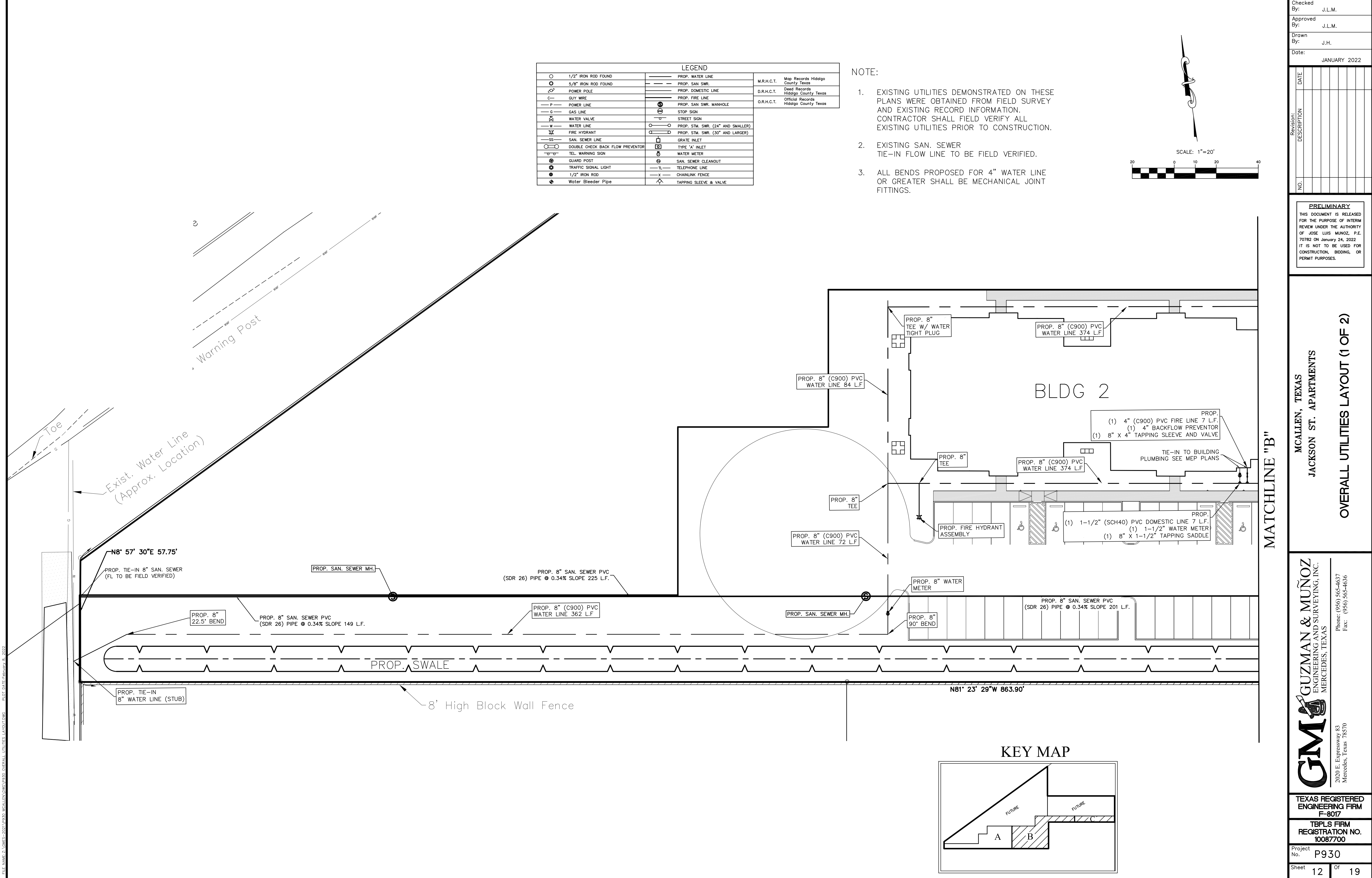
TEXAS REGISTERED
ENGINEERING FIRM
F-8017

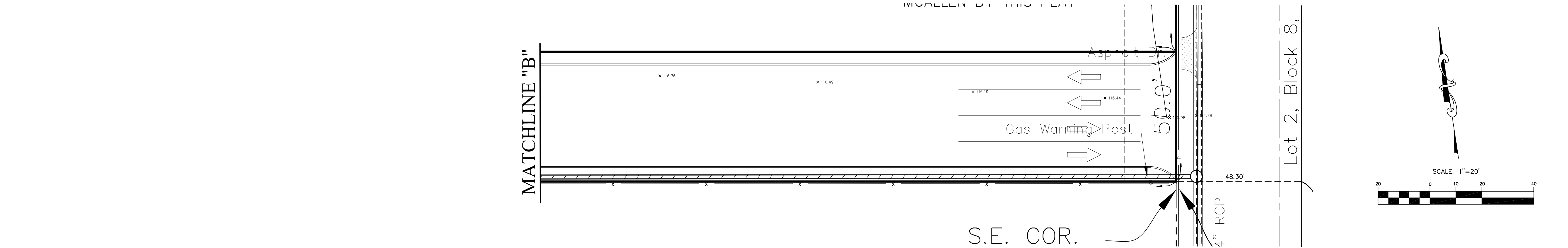
**TBPLS FIRM
REGISTRATION NO.
10087700**

Project No. P930

Sheet	4	Of	19
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FILE NAME: Z:\ONES-2021\9301 MCALLEN\DWG\9301 OVERALL UTILITIES LAYOUT.DWG PLOT DATE: February 14, 2022



[illegible]

MCALLEN, TEXAS
JACKSON ST. APARTMENTS
ALL UTILITIES LAYOUT (2 OF 2)

OVERA

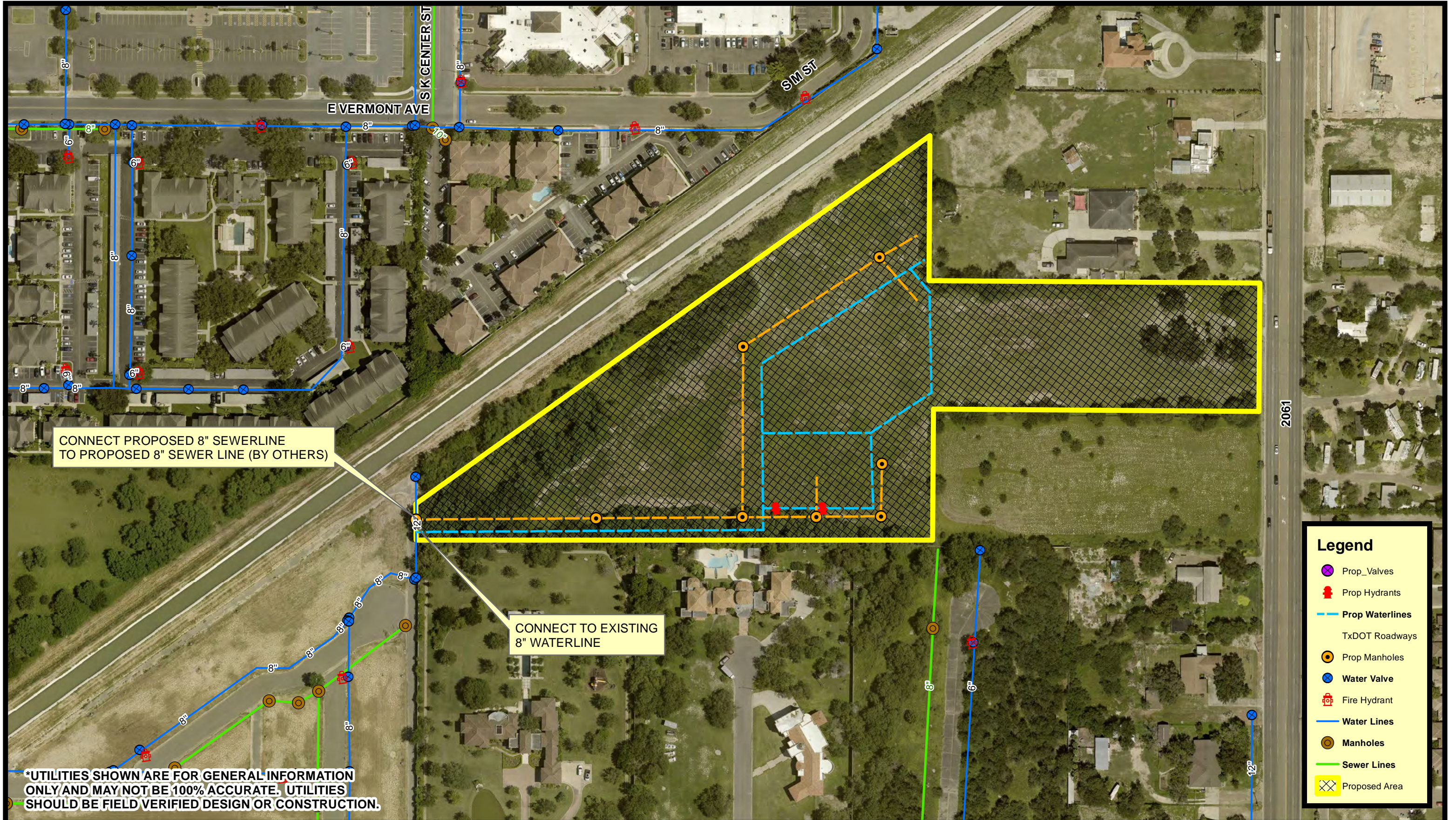
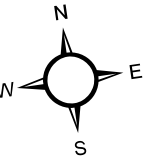
GM  **GUZMAN & MUÑOZ**
ENGINEERING AND SURVEYING, INC.
MERCEDDES, TEXAS

2020 E. Expressway 83
Mercedes, Texas 78570

Phone: (956) 565-4637
Fax: (956) 565-4636

TEXAS REGISTERED ENGINEERING FIRM F-8017	
TBPLS FIRM REGISTRATION NO. 10087700	
Project No.	P930
Sheet	13 Of 19

JACKSON STREET APARTMENTS SUBDIVISION





AGENDA ITEM

6.a.

PUBLIC UTILITY BOARD

DATE SUBMITTED

02/09/2022

MEETING DATE

2/15/2022

**1. Agenda Item: Consultation with City Attorney regarding legislative process.
(T.G.C. 551.071)**

**2. Party Making Request:
Isaac Tawil, City Attorney**

3. Nature of Request: Item for Board information and discussion.

4. Budgeted:

Bid Amount: _____
Under Budget: _____

Budgeted Amount: _____
Over Budget: _____
Amount Remaining: _____

5. Reimbursement:

6. Routing:
Nyla Flatau Created/Initiated - 2/9/2022

7. Staff's Recommendation: Item for Board information and discussion.

8. City Attorney: None. IJT

9. MPU General Manager: N/A

10. Director of Finance for Utilities: N/A - MDC



AGENDA ITEM

6.b.

PUBLIC UTILITY BOARD

DATE SUBMITTED

02/09/2022

MEETING DATE

2/15/2022

1. Agenda Item: Consultation with City Attorney regarding potential litigation before the PUC. (T.G.C. 551.071)
2. Party Making Request:
Isaac Tawil, City Attorney
3. Nature of Request: Item for Board information and discussion.
4. Budgeted:

Bid Amount:	_____	Budgeted Amount:	_____
Under Budget:	_____	Over Budget:	_____
		Amount Remaining:	_____
5. Reimbursement:
6. Routing:
Nyla Flatau Created/Initiated - 2/9/2022
7. Staff's Recommendation: Item for Board Information.
8. City Attorney: None. IJT
9. MPU General Manager: N/A
10. Director of Finance for Utilities: N/A - MDC



AGENDA ITEM

6.c.

PUBLIC UTILITY BOARD

DATE SUBMITTED

02/09/2022

MEETING DATE

2/15/2022

1. Agenda Item: Consideration and possible lease, sale or purchase of real property; Tract 1. (T.G.C. 551.072)

**2. Party Making Request:
Isaac Tawil, City Attorney**

3. Nature of Request: Item for Board Discussion and Information.

4. Budgeted:

Bid Amount: _____
Under Budget: _____

Budgeted Amount: _____
Over Budget: _____
Amount Remaining: _____

5. Reimbursement:

6. Routing:
Nyla Flatau Created/Initiated - 2/9/2022

7. Staff's Recommendation: Item for Board Information.

8. City Attorney: None. IJT

9. MPU General Manager: N/A

10. Director of Finance for Utilities: N/A - MDC